



40 DuPage Elgin Commerce Building REDEVELOPMENT PLAN

*Celebrating the History, Appreciating the Past, and
Creating an Innovative Future for the People of Elgin*

'The Courtyard at 40'

40 Du Page Ct | Elgin, IL 60120 | Downtown Elgin

Prepared For

City of Elgin
150 Dexter Court
Elgin, IL 60120
Phone: 847-931-6001

When history meets the future, the potential is limitless. For it is creativity that truly enhances **COMMUNITY**”



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Project Background

The Spurling Block Building was built in 1893 and is Elgin's first steel framed building. The building was built at a cost of \$105,000 by Andrew Barclay Spurling and designed by notable Elgin architect, W. Wright Abell.

Spurling was a General in the Civil War and received a Medal of Honor. He was friends with Vincent S. Lovell (of which the D.C. Cook – Lovell Area Historic District is named after), who was the mayor at the time. Lovell placed Spurling at the head of the Police Department and was known to enforce the law without favoritism. He supposedly arrested his own son for disorderly conduct. Uniquely, since he was strict on enforcement he was not reappointed.

Spurling made of the majority of his wealth from real estate, unfortunately was poor timing when he built the Spurling Building, as the Panic of 1893 halted any work/sales. He eventually lost the building to foreclosure and with it, his entire fortune. At his height he lived at 1045 N. Spring Street but after he fell on hard times he moved to Chicago.

The building was modernized in 1957 and became home to the Elgin Courier News. The building was renamed decades later to the Elgin Commerce Building and is part of the Downtown Elgin Commercial National Register Historic District.

Source: Christen Sundquist, Historic Preservation Planner, City of Elgin

“The City in the Suburbs embodies the touchstones that make us celebrate the past, enjoy today, and be ahead of the curve for tomorrow.”

- City of Elgin

Project Background

In December of 2014, Dan Strojny and Legend Partners, LLC purchased both 30 & 40 DuPage Court Buildings. At that time, the properties were bank owned and lacked tenants, capital improvements, and marketing. Dan and his partners have found success in purchasing distressed commercial properties. They invest in the properties and rigorously market them to improve occupancy and overall value.

Dan believes in the downtown area and intended to lease up the building and manage it. From the point of purchase through today, Dan has struggled to get any interest in the spaces larger than 1,000 sf. Occupancy has consistently been insufficient. He has had Palatine based Real Estate Firm, Chicagoland Commercial Real Estate, contracted to do marketing on the building; however, the market has not been able to yield enough interest to carry the expenses of these buildings.

After hearing of the success of the Elgin Tower Building, Dan had considered the idea of converting but lacked the team and backing required to put together a design and plan to see if a conversion was feasible. For years, Dan has worked tirelessly to find the right partners and vendors to properly bring this idea to where it is today.

His vision is to create a premier mixed use residential development. One that respectfully preserves historically significant components, while offering preferred residential units. Dan wants the project to continue to revitalize the downtown making it even more attractive and welcoming while providing the needed density to support businesses. He wants the project to be one that the City of Elgin can be proud of. Dan just wants to get it right.

That said...

**The foundation of this project starts with
building the perfect team...**

Project Background

Team Members



Engineering • Design • Consulting

In 2019, the WT Group, of Hoffman Estates, was retained to partner in the project. Formed in 1971, the WT Group grew from humble, entrepreneurial beginnings in founder Donald R. Triphahn's Hoffman Estates home to a full-service engineering, design and consulting firm committed to providing world-class engineering and design services to a range of clients from local businesses to municipalities. For nearly 50 years, the WT Group expanded its portfolio of design and engineering services to include Large Scale Project Management, Development, Architecture, Civil Engineering, Heating, Ventilation and Air Conditioning, Plumbing, Electrical and Fire Protection Engineering, Land Surveying, and ADA Accessibility Consulting. This allows for single-source engineering, and engineering with precision, pace and passion. This alignment is a natural fit for the project. The WT Group will be overseeing the Project Management for this site. The project team has been thorough and methodical. A successful project outcome is ensured by retaining experts and professionals from the start. The time and money invested on the front end leads to efficient and effective results.

We proudly introduce you to the key players we have brought together to bring 'The Courtyard at 40' a reality.



Sterling Renaissance, Inc. is a general contracting and construction management company founded by Bruce and Debbie Sterling. Since 1976 the Sterling family has been building in the Chicago metropolitan area and developing strong client, architect and subcontractor relationships as a result of commitment to the construction process. At Sterling Renaissance Inc. the first goal is to bring together skilled craftsman and construction management professionals that can ensure the project meets the desired objectives of clients. Sterling Renaissance has a proven record of performance. With Bruce Sterling on as Construction Manager he has lent his expertise and experience front in schematic design and development. Bruce also has experience working with historic rehabilitation projects that entail securing the Historic Tax Credits.



Serving Chicagoland Since 2002

Chicagoland Commercial Real Estate, Inc is a full service commercial real estate brokerage and commercial property management company located in Palatine, Illinois. Founded in 2002, CCRE provides commercial real estate brokerage, leasing, sales, tenant advisory, receivership and commercial property management services throughout the suburbs and within the city of Chicago.

Project Background

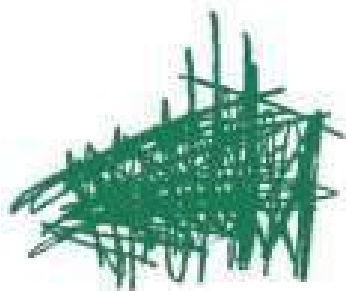
Team Members



MacRostie Historic Advisors LLC was founded in 2004 by nationally recognized historic tax credit advisor Bill MacRostie. MHA has become the trusted historic tax credit partner for real estate developers and investors of historic buildings around the country. MacRostie Historic Advisors is the leading specialist in historic tax credits. They help developers navigate complex tax application processes and ease the path for historic rehabilitation projects. After successfully completing thousands of historic tax credit projects, they have the expertise and the relationships within the historic tax credit community to help projects be successful. MacRostie understands historic resources and the regulatory process and maintains strong working relationships with review staffs at the National Park Service and the State Historic Preservation Offices. The team’s reputation for practical strategies, a focused work effort, and proven results in achieving results for our clients has made MHA an industry leader nationwide.



The team retained Tracy Cross & Associates of Schaumburg to conduct a Market Analysis. Founded in 1980 by nationally recognized real estate marketing authority Tracy Cross. Tracy Cross & Associates, Inc. brings a depth and breadth of industry experience to its engagements and an understanding of the way that different elements of the business—finance, design, construction, and marketing—all fit together. The study helped determine a product that had market support, and was to best compliment the lifestyle of Elgin’s downtown district.



Fowler | Architecture is a full-service architectural firm with over 30 years’ experience in residential and commercial architecture. With projects ranging from renovations and remodels to custom homes, luxury custom homes, single and multi-family production housing, every project gets the utmost attention. Fowler is known to carefully listen to client thoughts and needs, and translate them into distinctive designs that reflect the vision.

Project Summary

The 'The Courtyard at 40' team has worked the past five months on developing plans that will make 'The Courtyard at 40' a premier residence and mixed use property for downtown Elgin. We need your help. We would like to partner with the City of Elgin to make 'The Courtyard at 40' a reality by accessing TIF funds and securing property tax relief.

This development meets the needs of the City of Elgin as identified in their Comprehensive plan.

Situated in downtown Elgin, the property is within easy walking distance of numerous established restaurants, specialty boutiques, salons, and other service providers. In addition, DuPage Court serves as a pedestrian court which hosts Farmer's Markets and various special events. The property is in walking distance to many cultural and entertainment venues of the City of Elgin. Severn blocks to the north is Elgin's Civic Center Plaza, a performance theater home to the well-respected Elgin Symphony Orchestra, as well as The Center of Elgin a 185,000 square foot fitness and recreation facility. Five blocks south of the property aligning the Fox River is Festival Park as well as the Grand Victoria Casino Complex. The building is also within a three mile driving distance of Amita Health St. Joseph and Advocate Sherman hospitals. All of these nearby services also represent sources of localized employment. The property is well served by local and regional transportation systems.

This site is an excellent location for employment, healthcare, dining, shopping, entertainment and recreation all with access to transportation.

This project has been created to help advance the principles of the comprehensive plan. 'The Courtyard at 40' helps meet the residential demand of Downtown Elgin. Through adaptive reuse, 'The Courtyard at 40' will preserve the architecture and historical property. Reinvestment in the existing Central Area TIF District, this project will allow for the downtown to continue to grow. The development of additional multi-family housing in the form of mixed use buildings will provide unique housing options and build a steady consumer base within walking distance to Downtown businesses.

This project has been designed to sustain occupancy.

Project Summary

51,630
Square Footage

8,605
SF per Floor

40
Rental Units

Floor Make-Up: 10 apartment units per floor

- Five (5) Studio JR 1/1 Bathroom Units
- Three (3) 1 Bedroom/1 Bathroom Units
- One (1) 2 Bedroom/2 Bathroom Unit
- One (1) 2 Bedroom/1 Bathroom Unit

Variety of

# of Units	Unit Designation	Bed/Bath	Sq Ft	Proposed Rent
8	A1	JR 1/1 Bath	447-512	\$ 950 Month
12	A2	JR 1/1 Bath	527-558	\$1,000 Month
4	B2	1 Bed / 1 Bath	602	\$1,100 Month
8	B3	1 Bed / 1 Bath	774	\$1,100 Month
4	B8	2 Bed/ 2 Bath	858	\$1,300 Month
4	C1	2 Bed / 1 Bath	791	\$1,250 Month

Unit Features: Quality interior components, energy efficient, stainless steel appliances, in unit washer/dryers, smart technology connectivity, nine-foot ceiling height, designer finishes, a great room and storage lockers.

Building Features: First floor lobby located on Spring Street. Historic Information on display. Secure bike storage on first floor. Basement has individual storage units, restrooms, and great room.

First Floor Retail: Mama Lee’s Popcorn plans to remain and expand its Downtown Elgin location at the site. An existing Marketing Firm that is a tenant in the building will lease the rest of the 1st floor space.

Current Building Conditions:

The building currently has a 8 small business tenants. Without this redevelopment, the project is in jeopardy of being tabled and it would be another site sitting underutilized in Downtown Elgin. This project will also bring the site into compliance with City building codes, including Life Safety Code.

Cost Estimation

Legend Partners, LLC is asking to enter into a redevelopment agreement with the City of Elgin. The project has a total estimated cost of \$11,000,000 million with a hard construction budget of \$9,650,000 million.

We are seeking \$4,500,000 in development assistance.

We would also ask the City to consider a TIF increment rebate.

Redevelopment work should begin immediately. Finalizing the closing documents between the investors will require approximately 60 days. In addition, COVID has created some unknowns for the future.

We ask the City to provide \$4,500,000 of development assistance using tax increment funds for that contribution. Legend Property, LLC originally purchased the property for \$750,000 and is budgeting \$11,000,000 million for hard construction costs.

Including contingencies, Legend Property is expected to utilize approximately \$1,850,000 in Federal Historic Tax Credits and \$1,600,000 in State Historic Tax Credits which will collectively generate approximately \$3,450,000 in equity investment. ***When considering market rate rentals for the Residential and Commercial Spaces, Legend Partners, LLC projects the stabilized project can support for \$3,000,000 of debt. This creates a gap of approximately \$4,500,000 and necessitates City assistance in order for this project to be possible.***

'The Courtyard at 40' is a well thought out project, that advances the City of Elgin vision, adds value and stimulates the downtown community and creates a place for residents to work, live and play.

Please find the attached supplemental information which includes:

- 'The Courtyard at 40' Design Set

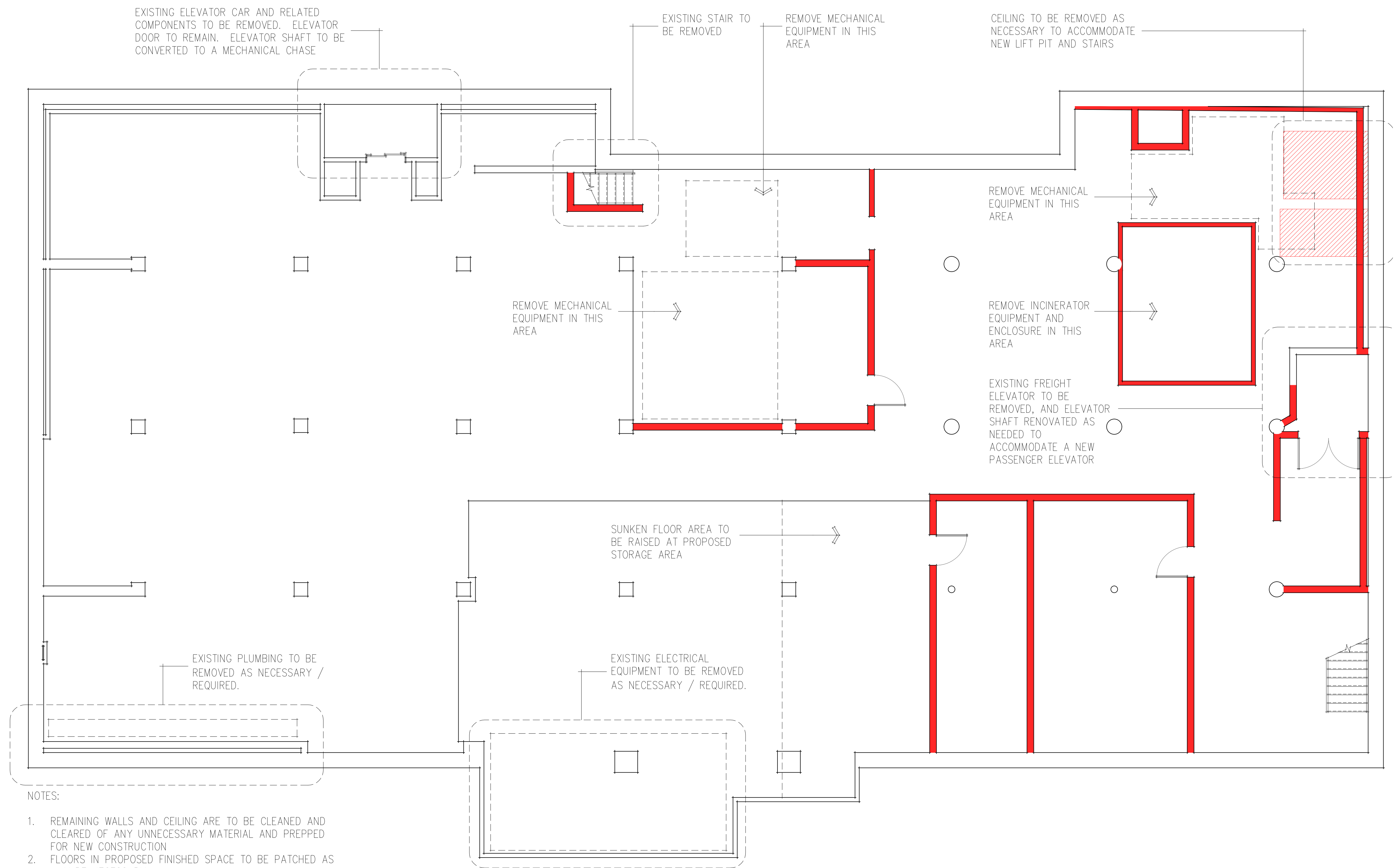
The project team believes construction will take 12-18 months, depending on when funding can be secured and when permitting can be issued.

40 DuPage Elgin Commerce Building
REDEVELOPMENT PLAN

'The Courtyard at 40'

Design Set

DuPage Court
(Pedestrian Only)



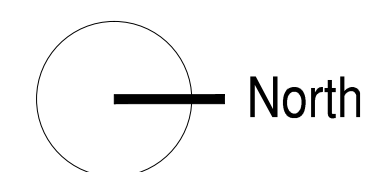
Existing Alley

South Spring Street

NOTES:

1. REMAINING WALLS AND CEILING ARE TO BE CLEANED AND CLEARED OF ANY UNNECESSARY MATERIAL AND PREPPED FOR NEW CONSTRUCTION
2. FLOORS IN PROPOSED FINISHED SPACE TO BE PATCHED AS MAY BE NECESSARY
3. EXISTING MEP ELEMENTS THAT ARE NOT INTENDED TO BE USED ARE TO BE REMOVED AND REPLACED AS NEEDED
4. EXISTING ANTIQUE DOOR KNOBS ARE TO BE RETAINED AND DISPLAYED

- WALLS TO BE REMOVED
- WALLS TO BE RETAINED
VERIFY IN FIELD
- CEILINGS TO BE REMOVED



Basement Demolition Plan

3/16" = 1'-0"

40 DuPage Court Apartments

Elgin, IL
05.08.20



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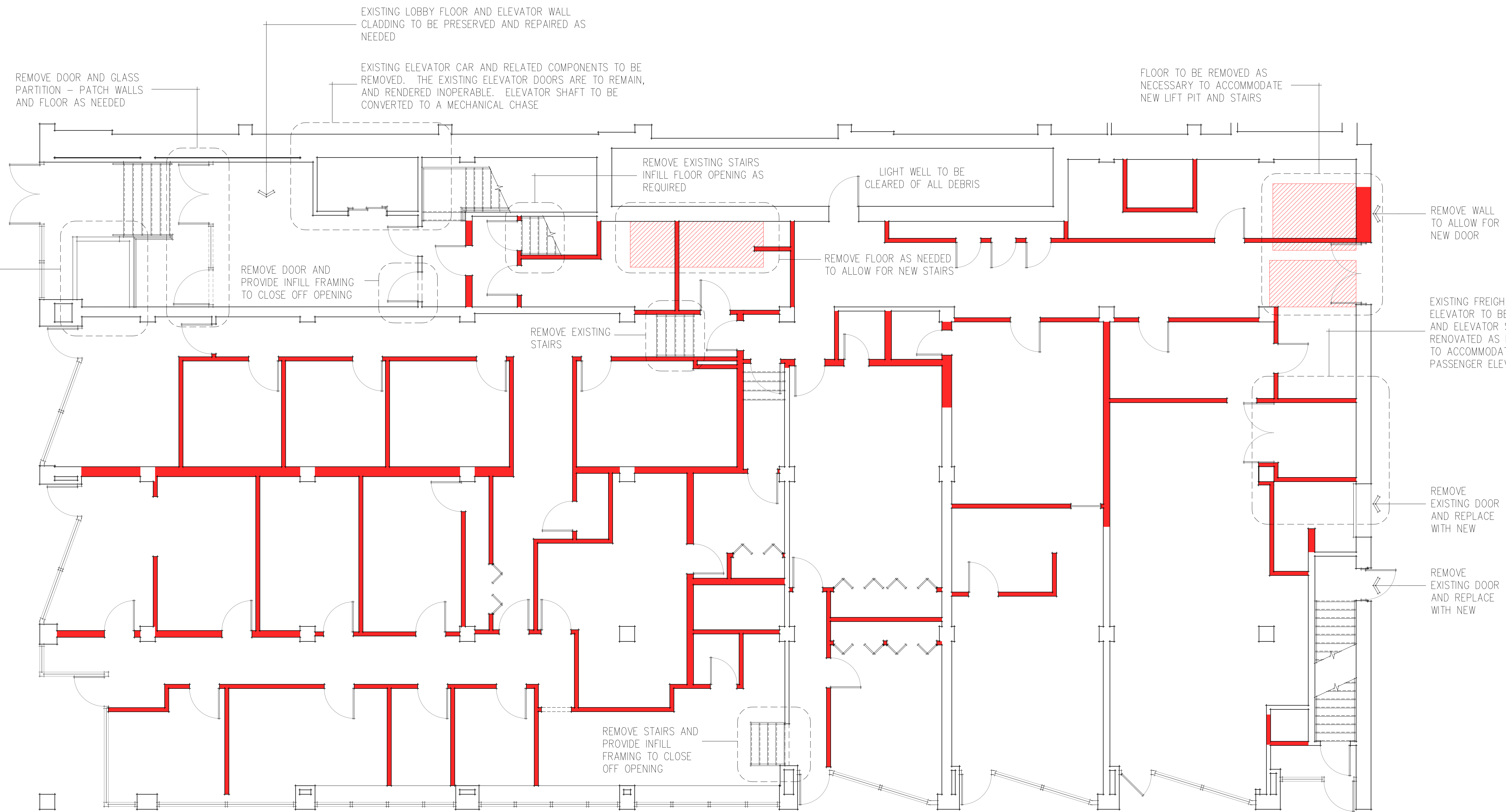


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A1.0

DuPage Court
(Pedestrian Only)

Existing Alley



NOTES:

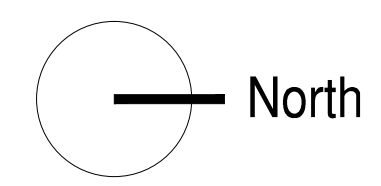
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3. LOBBY FLOOR AND ELEVATOR WALL CLADDING AT THE DUPAGE COURT ENTRY TO BE PRESERVED
3. EXISTING MEP ELEMENTS THAT ARE NOT INTENDED TO BE USED ARE TO BE REMOVED AND REPLACED AS NEEDED
4. HANDRAILS WITHIN THE STAIR TOWERS TO BE RETAINED; CLEANED AND REPAIRED AS NEEDED

WALLS TO BE REMOVED
 WALLS TO BE RETAINED VERIFY IN FIELD
 FLOORS TO BE REMOVED

South Spring Street

First Floor Demolition Plan

3/16" = 1'-0"



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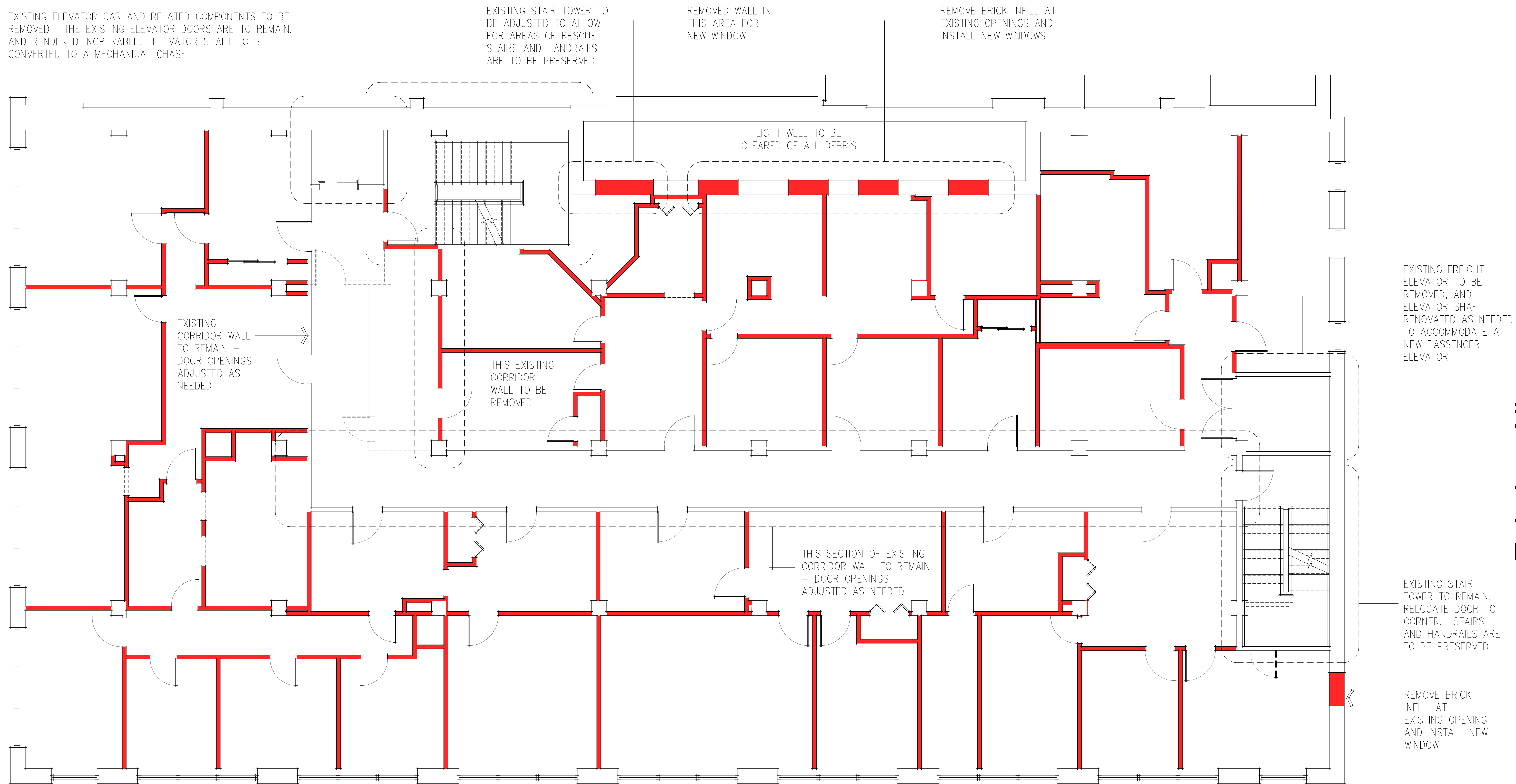


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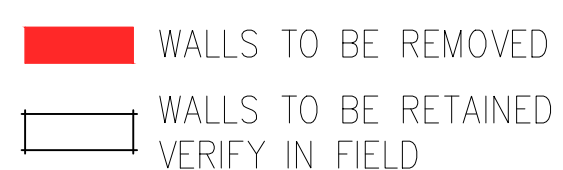
DuPage Court
(Pedestrian Only)

Existing Alley



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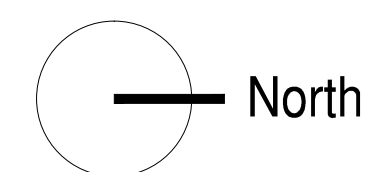
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5. HANDRAILS WITHIN THE STAIR TOWERS TO BE RETAINED; CLEANED AND REPAIRED AS NEEDED



South Spring Street

Second Floor Demolition Plan

3/16" = 1'-0"



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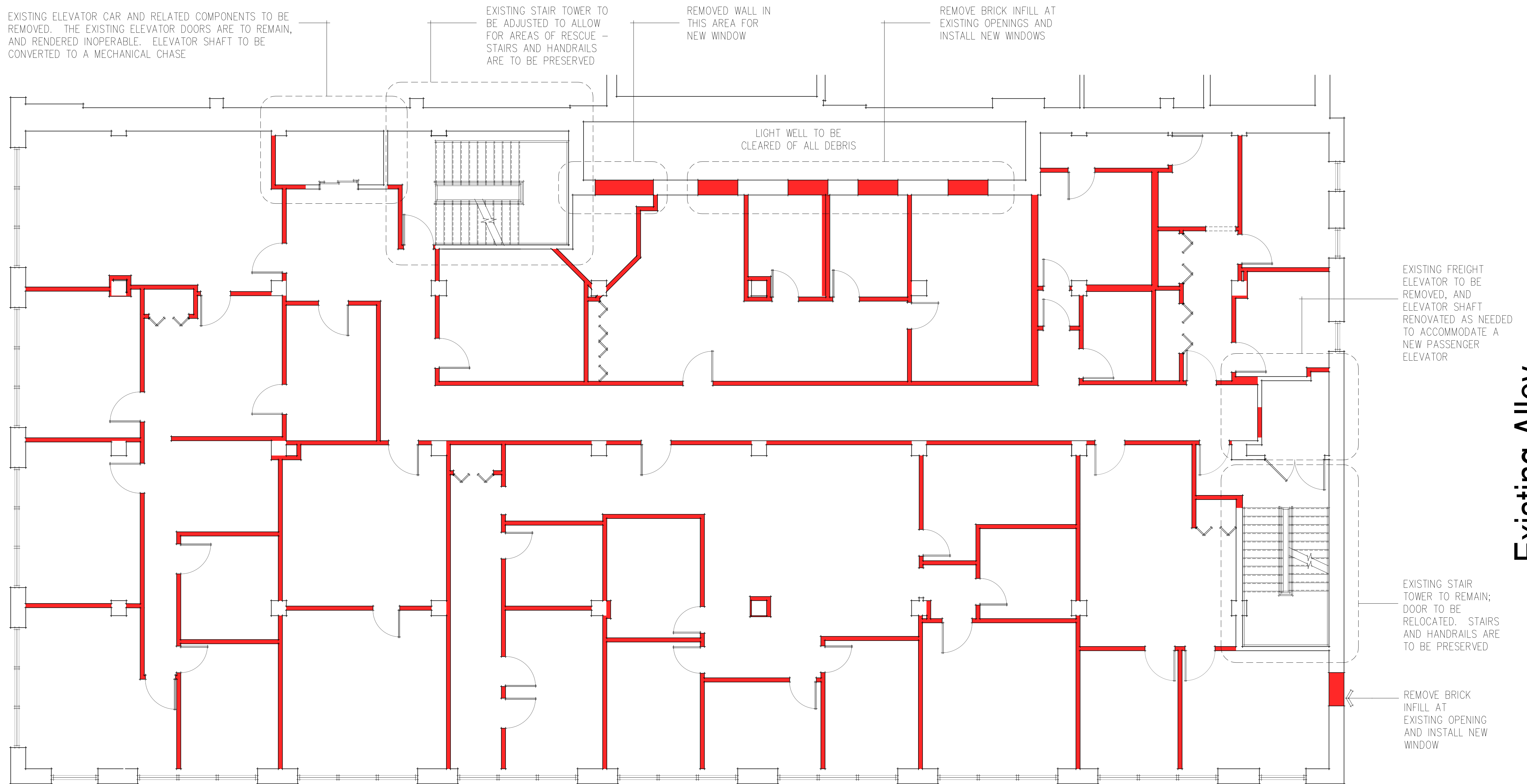
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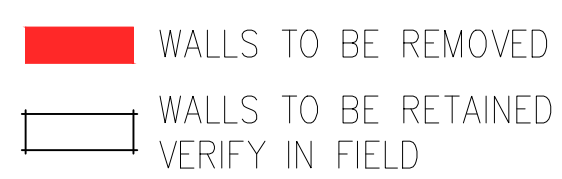
DuPage Court
(Pedestrian Only)



Existing Alley

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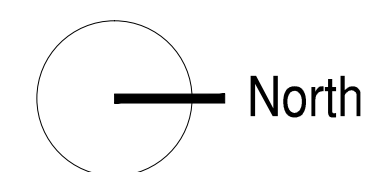
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South Spring Street

Third Floor Demolition Plan

3/16" = 1'-0"



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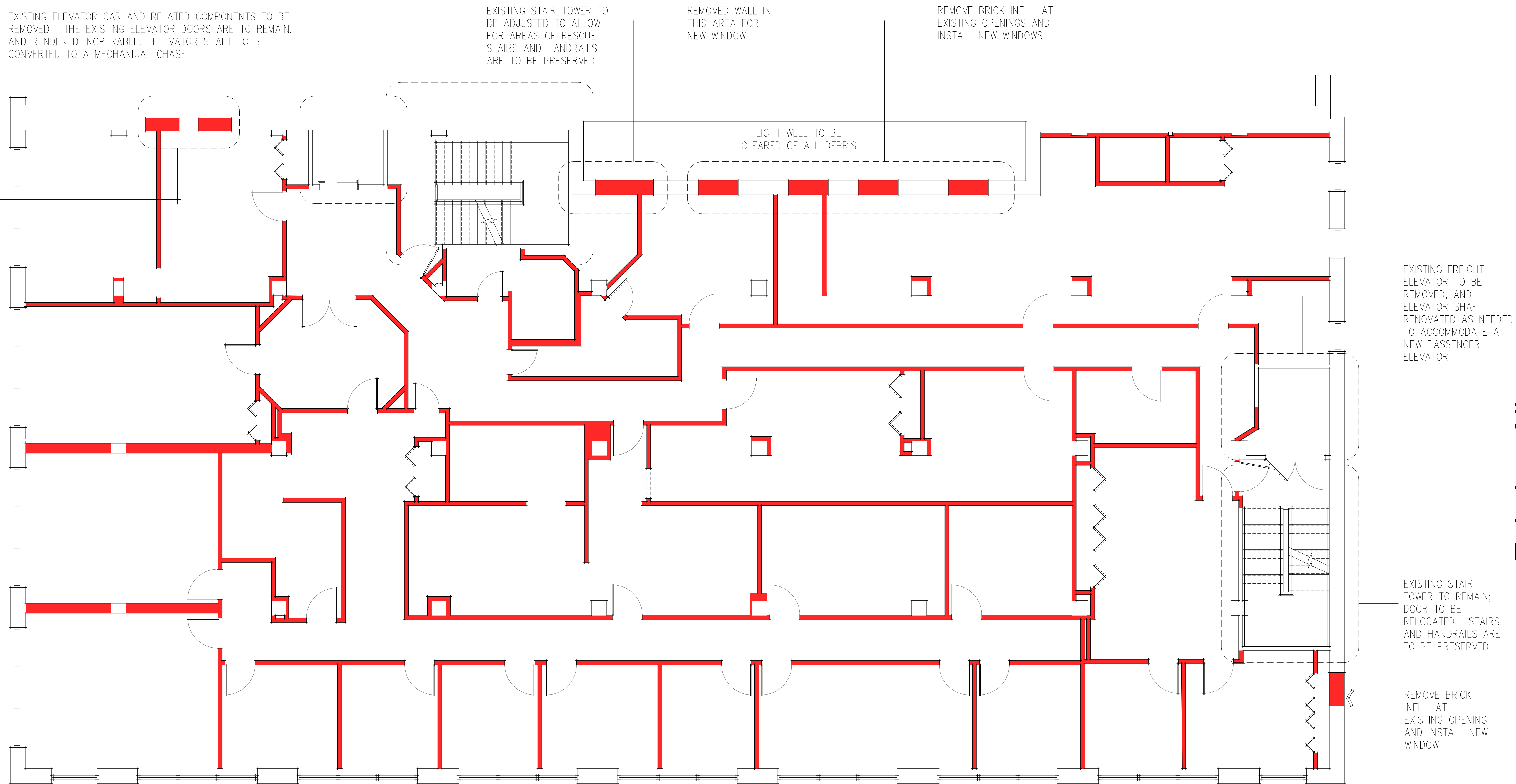
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A1.3

DuPage Court
(Pedestrian Only)

Existing Alley



NOTES:

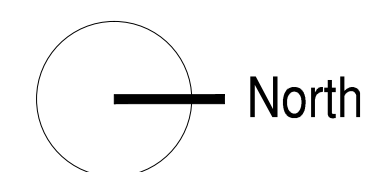
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█ WALLS TO BE REMOVED
 WALLS TO BE RETAINED
 VERIFY IN FIELD

South Spring Street

Fourth Floor Demolition Plan

3/16" = 1'-0"



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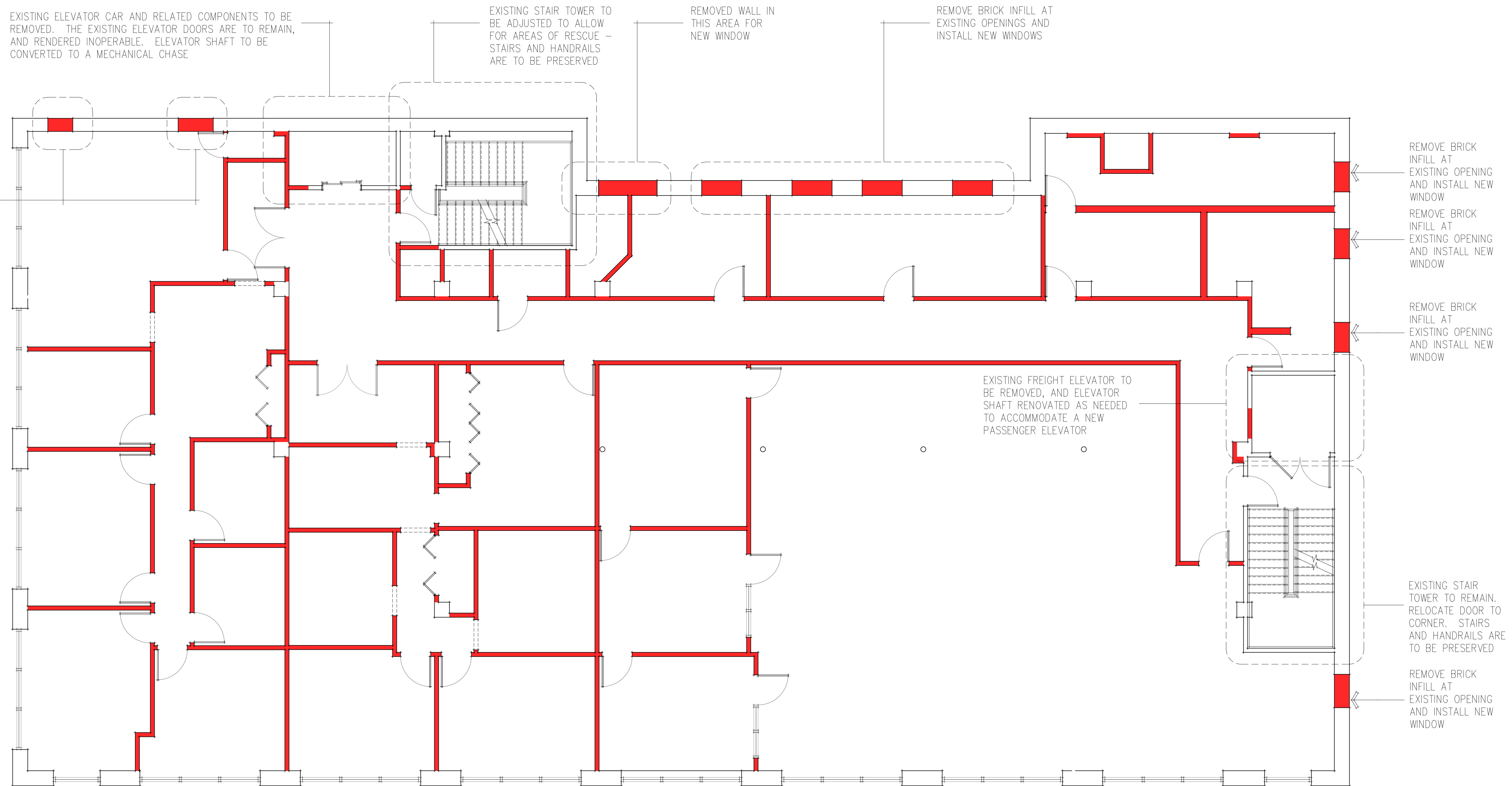


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A1.4

DuPage Court
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Existing Alley



NOTES:

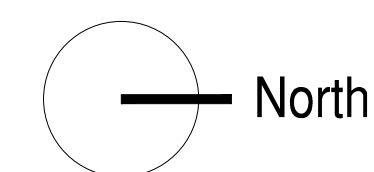
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█ WALLS TO BE REMOVED
 WALLS TO BE RETAINED
 VERIFY IN FIELD

South Spring Street

Fifth Floor Demolition Plan

3/16" = 1'-0"



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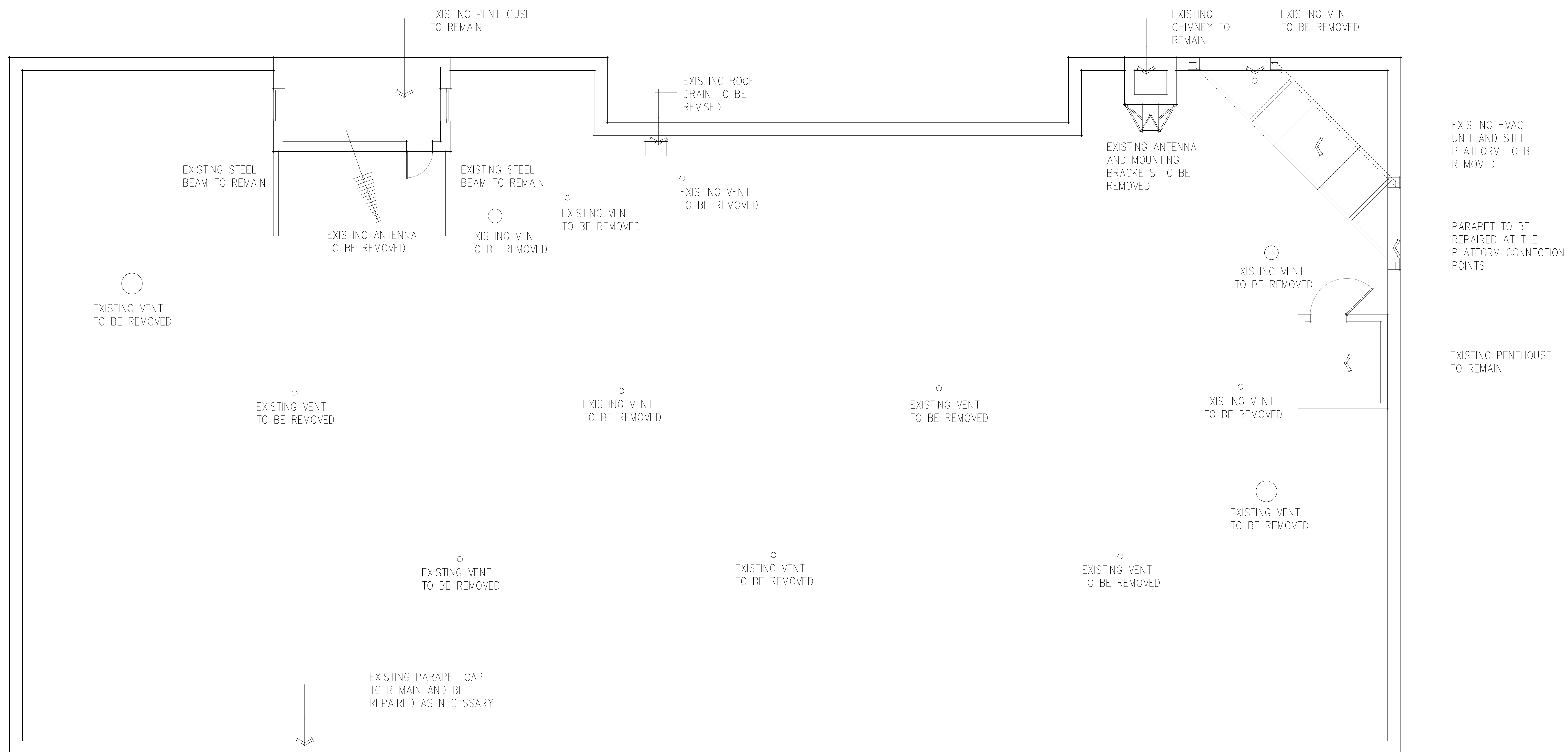


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A1.5

DuPage Court
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Existing Alley

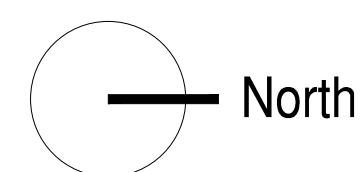
South Spring Street



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Roof Demolition Plan

3/16" = 1'-0"



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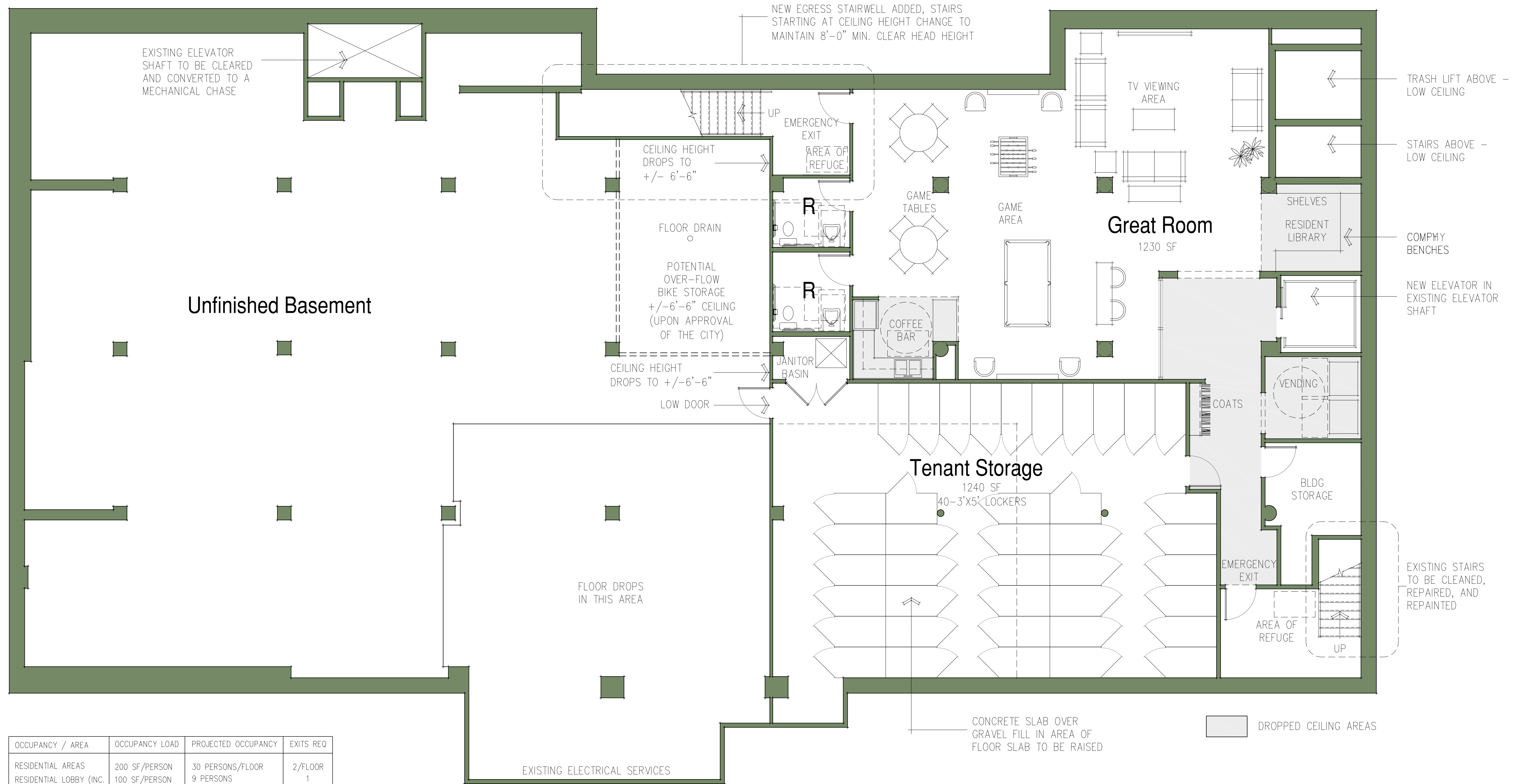


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A1.6

DuPage Court
(Pedestrian Only)

Existing Alley

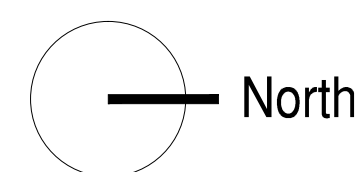


OCCUPANCY / AREA	OCCUPANCY LOAD	PROJECTED OCCUPANCY	EXITS REQ
RESIDENTIAL AREAS	200 SF/PERSON	30 PERSONS/FLOOR	2/FLOOR
RESIDENTIAL LOBBY (INC. E-LOUNGE/WAITING)	100 SF/PERSON	9 PERSONS	1
GREAT ROOM	15 SF/PERSON	82 PERSONS	2
STORAGE	300 SF/PERSON	6 PERSONS	1
MAINTENANCE	300 SF/PERSON	2 PERSONS	1
RETAIL 1	60 SF/PERSON	9 SF/PERSON	1
RETAIL 2	60 SF/PERSON	11 SF/PERSON	1
RESTAURANT	UNDETERMINED	UNDETERMINED	2

NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

Proposed Basement Plan

3/16" = 1'-0"

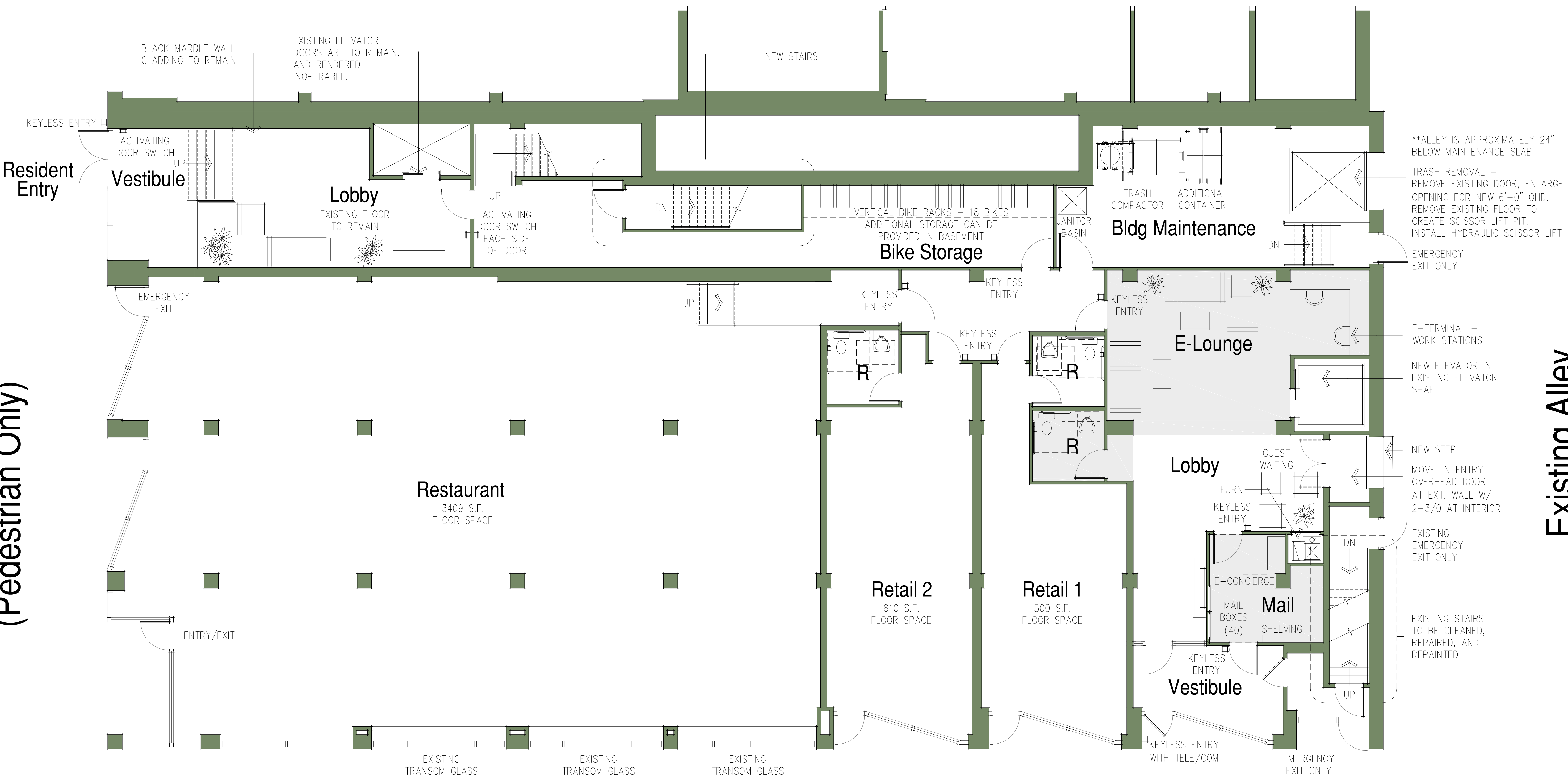


South Spring Street

40 DuPage Court Apartments

Elgin, IL
05.08.20

DuPage Court
(Pedestrian Only)



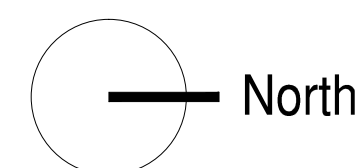
OCCUPANCY / AREA	OCCUPANCY LOAD	PROJECTED OCCUPANCY	EXITS REQ
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RESIDENTIAL LOBBY (INC. E-LOUNGE/WAITING)	100 SF/PERSON	9 PERSONS	1
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STORAGE	300 SF/PERSON	6 PERSONS	1
MAINTENANCE	300 SF/PERSON	2 PERSONS	1
RETAIL 1	60 SF/PERSON	9 SF/PERSON	1
RETAIL 2	60 SF/PERSON	11 SF/PERSON	1
RESTAURANT	UNDETERMINED	UNDETERMINED	2

NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

South Spring Street

Proposed First Floor Plan

3/16" = 1'-0"



40 DuPage Court Apartments

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DuPage Court
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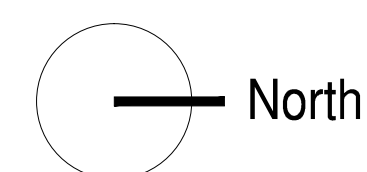
Existing Alley

NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

South Spring Street

Proposed Second Floor Plan

3/16" = 1'-0"



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A2.2

DuPage Court
(Pedestrian Only)

Existing Alley

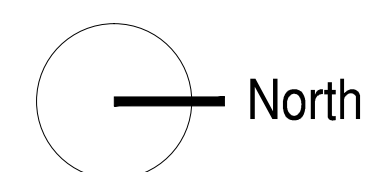


NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

South Spring Street

Proposed Third Floor Plan

3/16" = 1'-0"



40 DuPage Court Apartments

Elgin, IL
05.08.20



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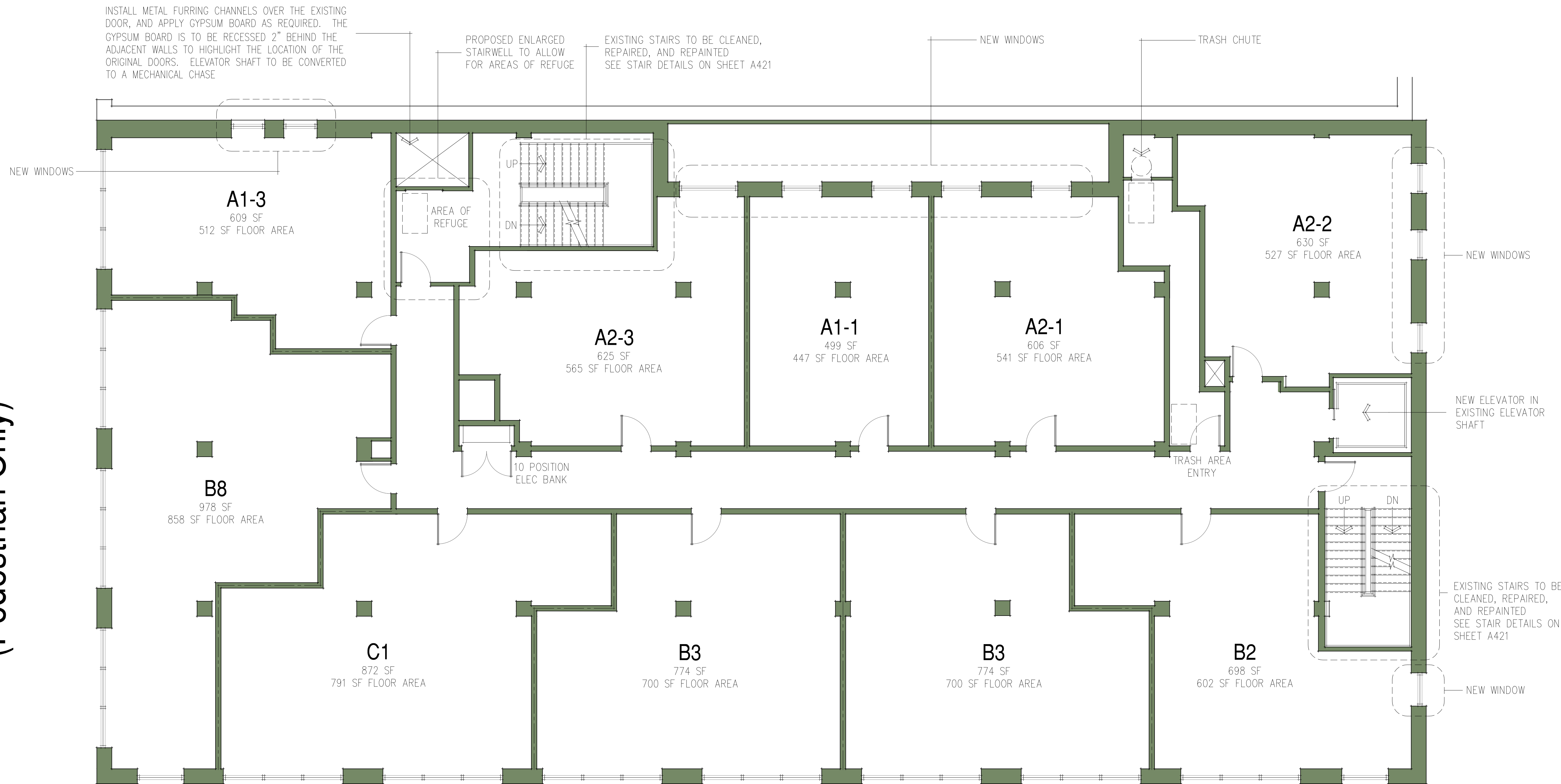


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A2.3

DuPage Court
(Pedestrian Only)

Existing Alley

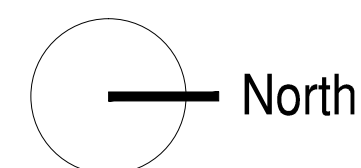


NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

South Spring Street

Proposed Fourth Floor Plan

3/16" = 1'-0"



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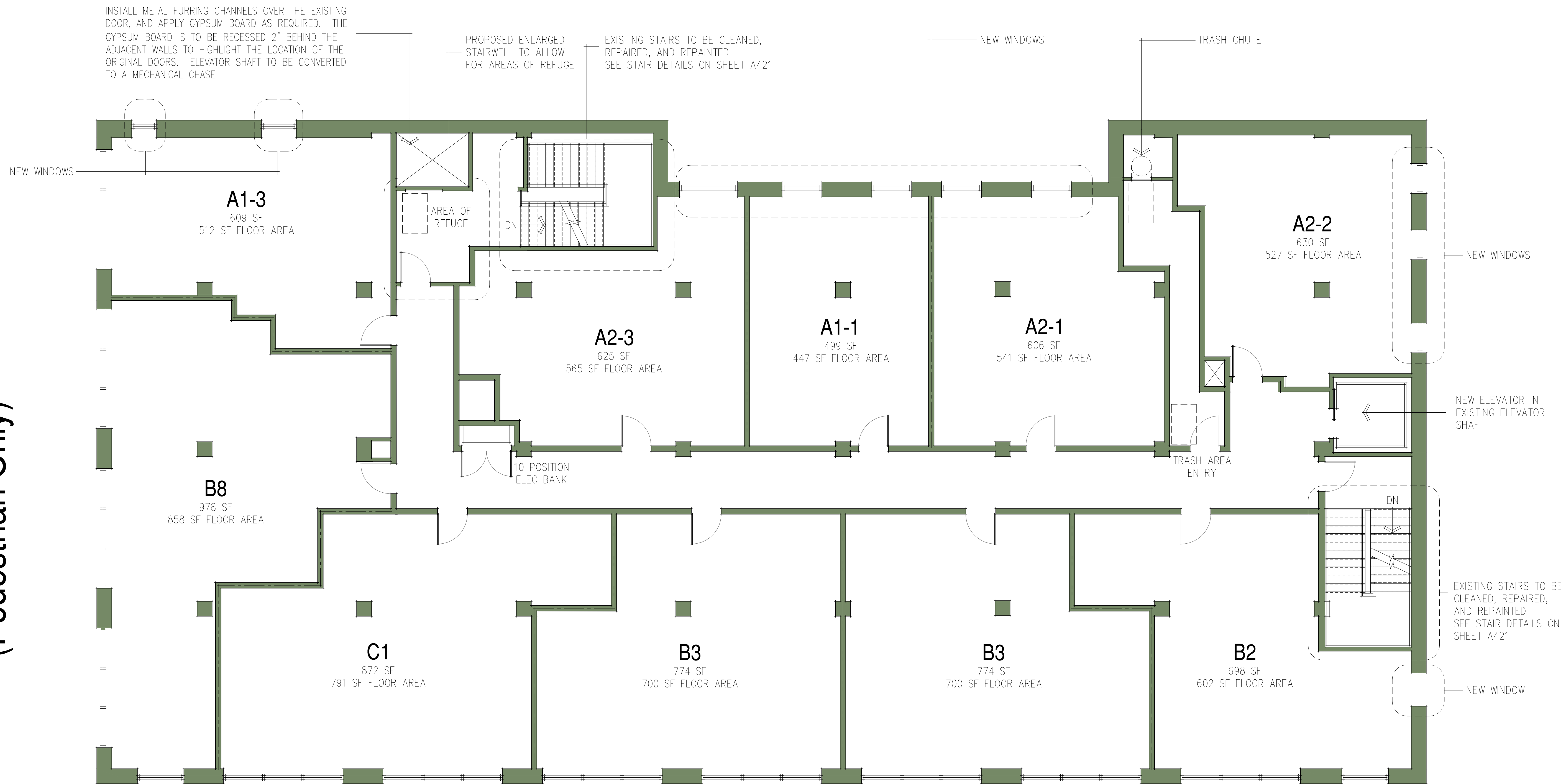


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A2.4

DuPage Court
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Existing Alley

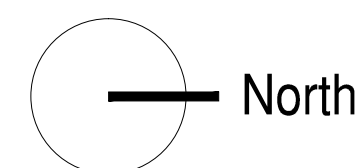


NOTE: SEE SHEET A111 FOR PROPOSED FINISH PLANS

South Spring Street

Proposed Fifth Floor Plan

3/16" = 1'-0"



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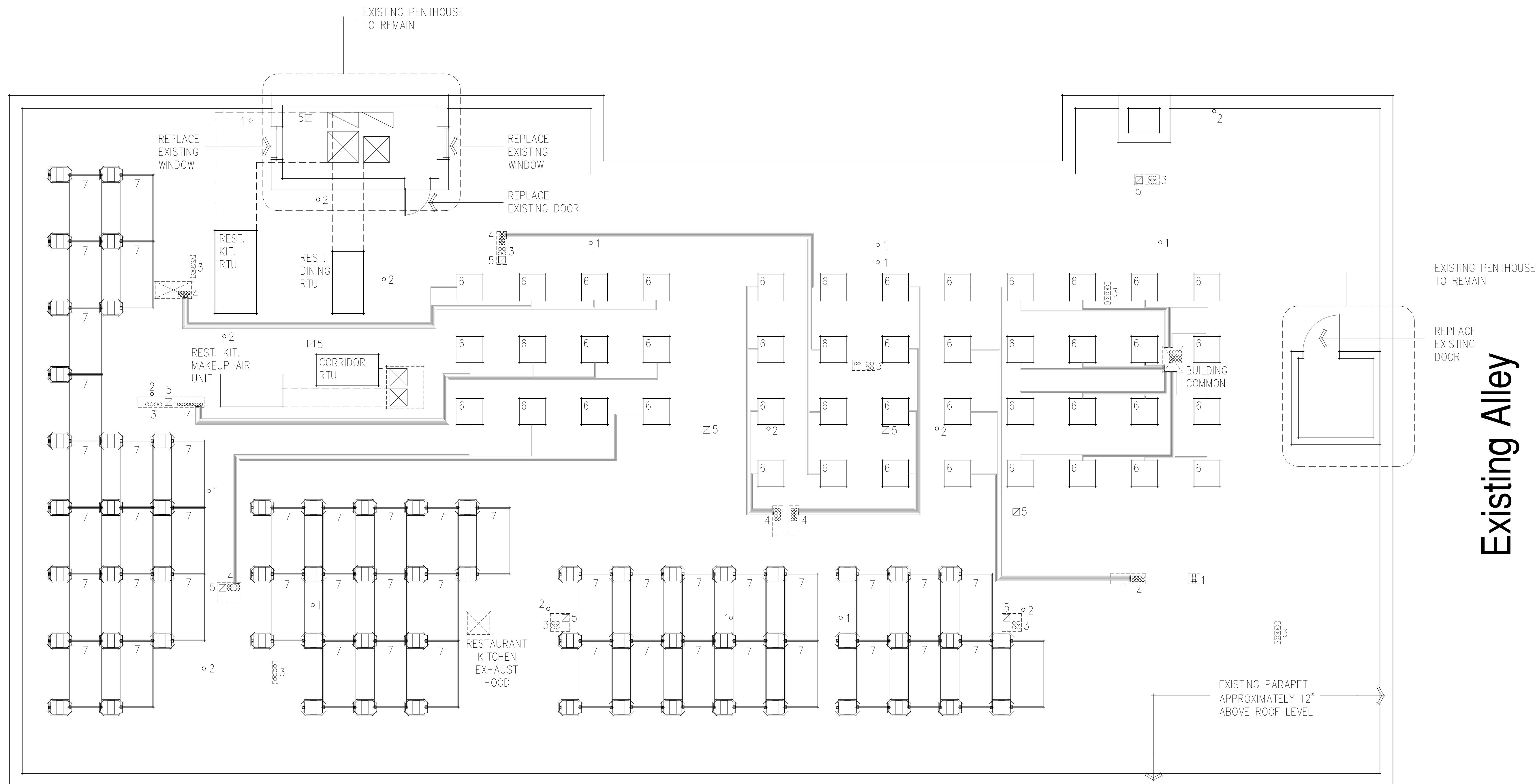
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A2.5

DuPage Court
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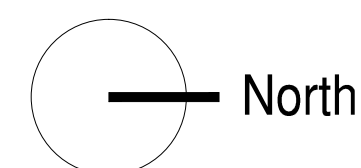


South Spring Street

Legend	
○ 1	KITCHEN PLUMBING VENT
○ 2	BATH PLUMBING VENT
○ 3	DRYER VENT
○ 4	FURNACE VENT/INTAKE
⊠ 5	BATH EXHAUST
□ 6	CONDENSER UNIT
⌂ 7	SOLAR PANELS - +/- 46 PANELS PANELS APPROXIMATELY 12" TALL AT HIGHEST EDGE

Proposed Roof Plan

3/16" = 1'-0"



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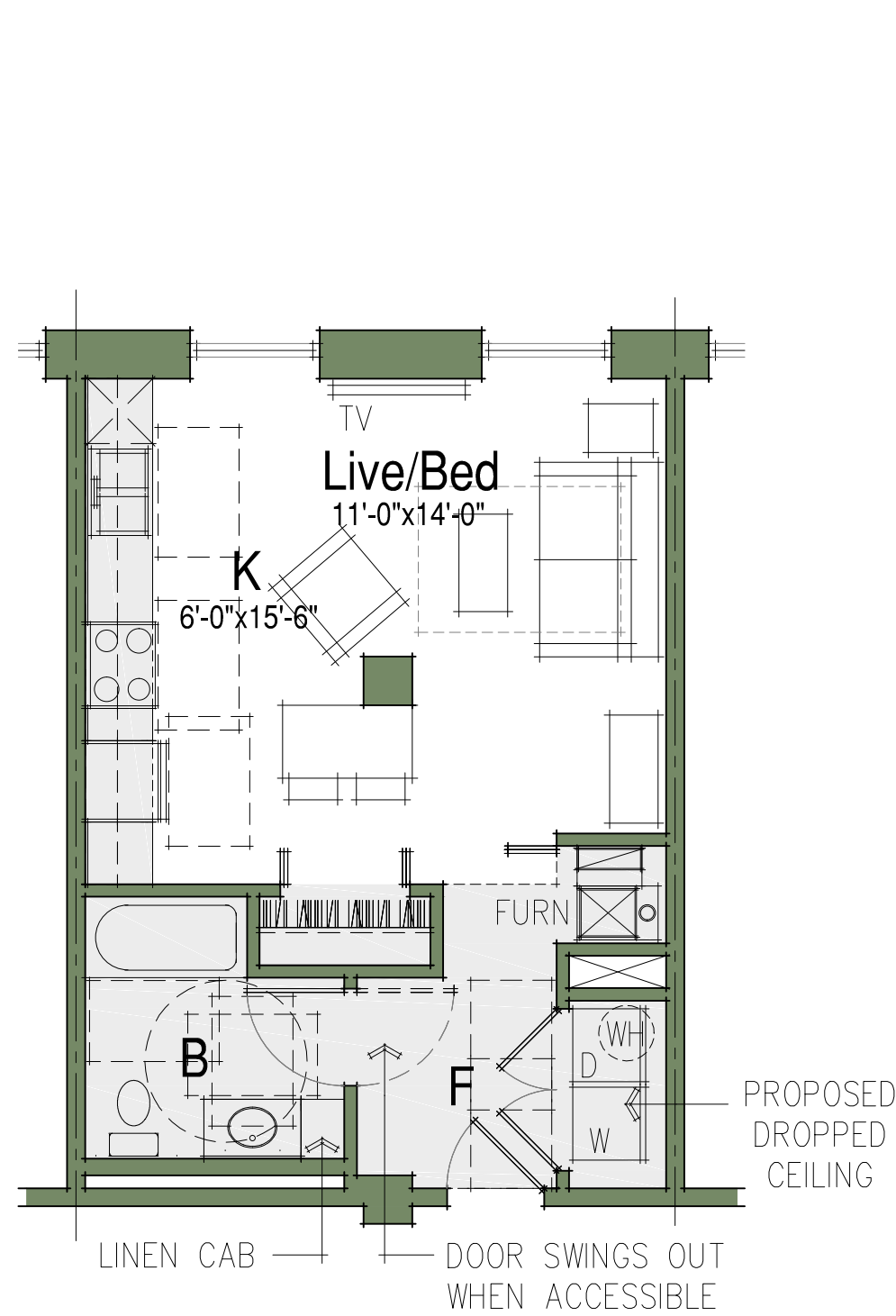


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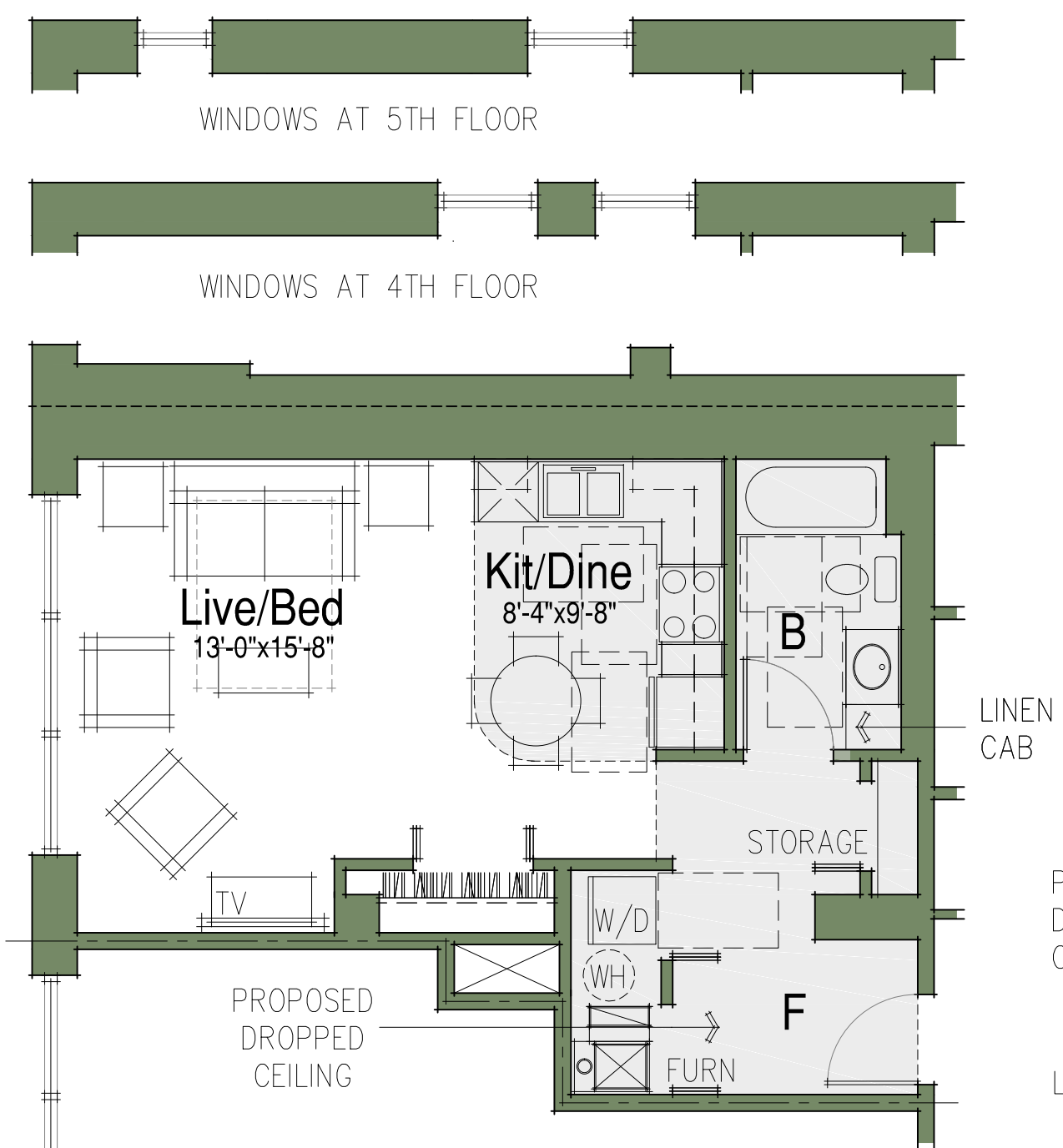
A2.6



A1-1

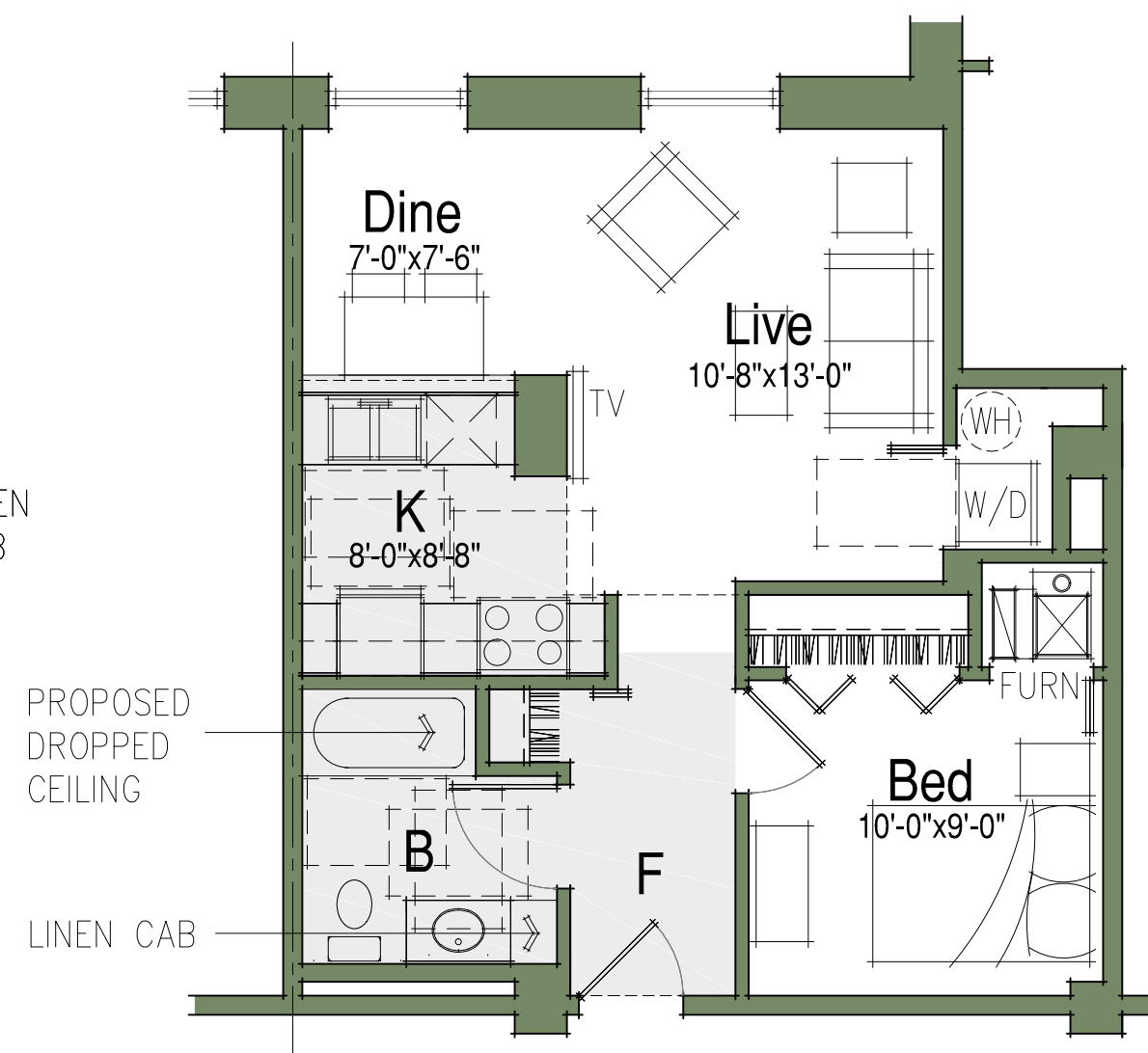
STUDIO – 499 SF
 447 SF FLOOR AREA
 IL ACCESS CODE – ADAPTABLE
 W/D
 FURN/ELEC WH

THIS UNIT CAN CONVERT TO ACCESSIBLE
 UNDER THE ILLINOIS ACCESSIBILITY CODE
 AND THE INTERNATIONAL BUILDING CODE



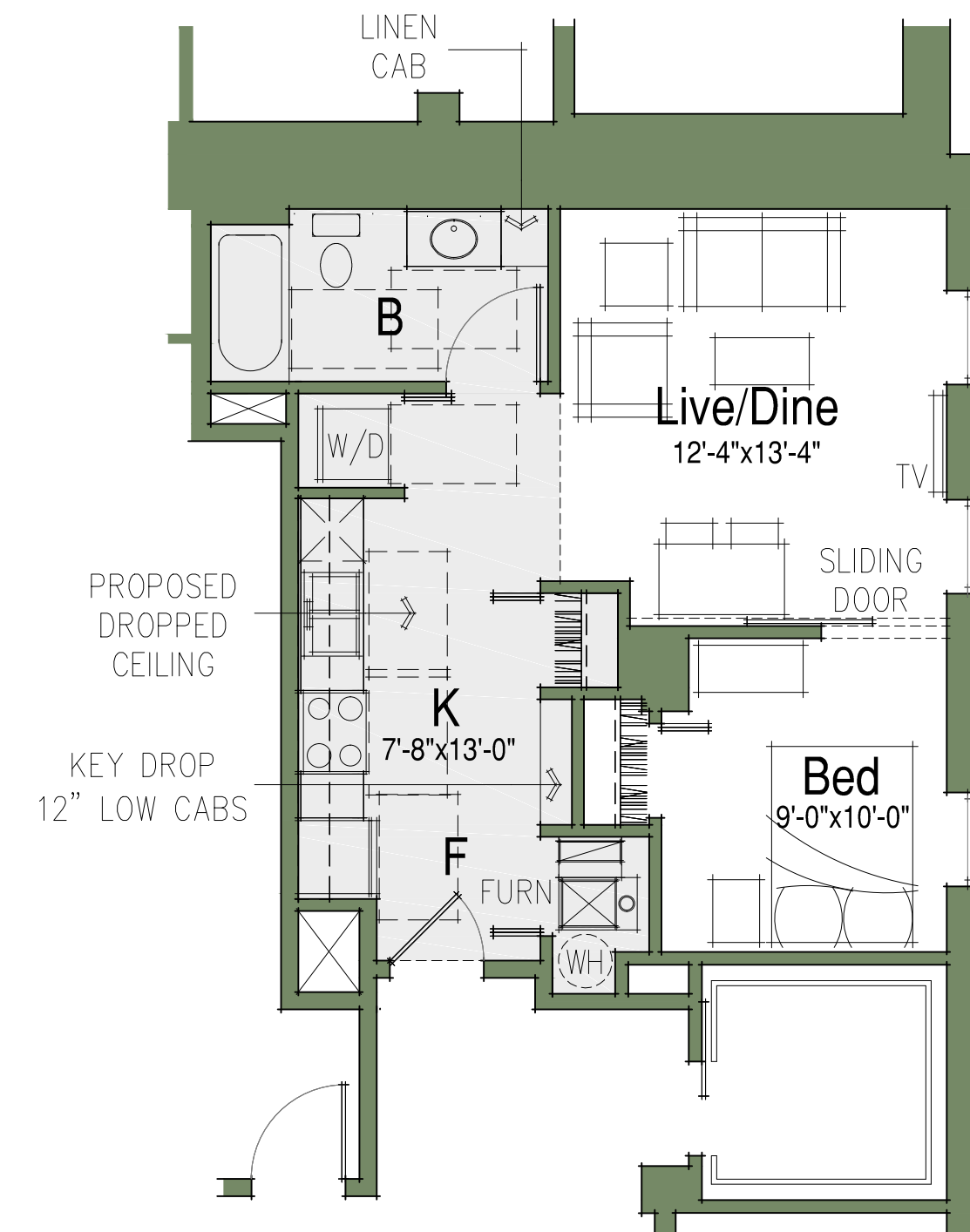
A1-3

STUDIO – 609 SF
 512 SF FLOOR AREA
 IBC TYPE B
 W/D – STACKED
 FURN/ELEC WH



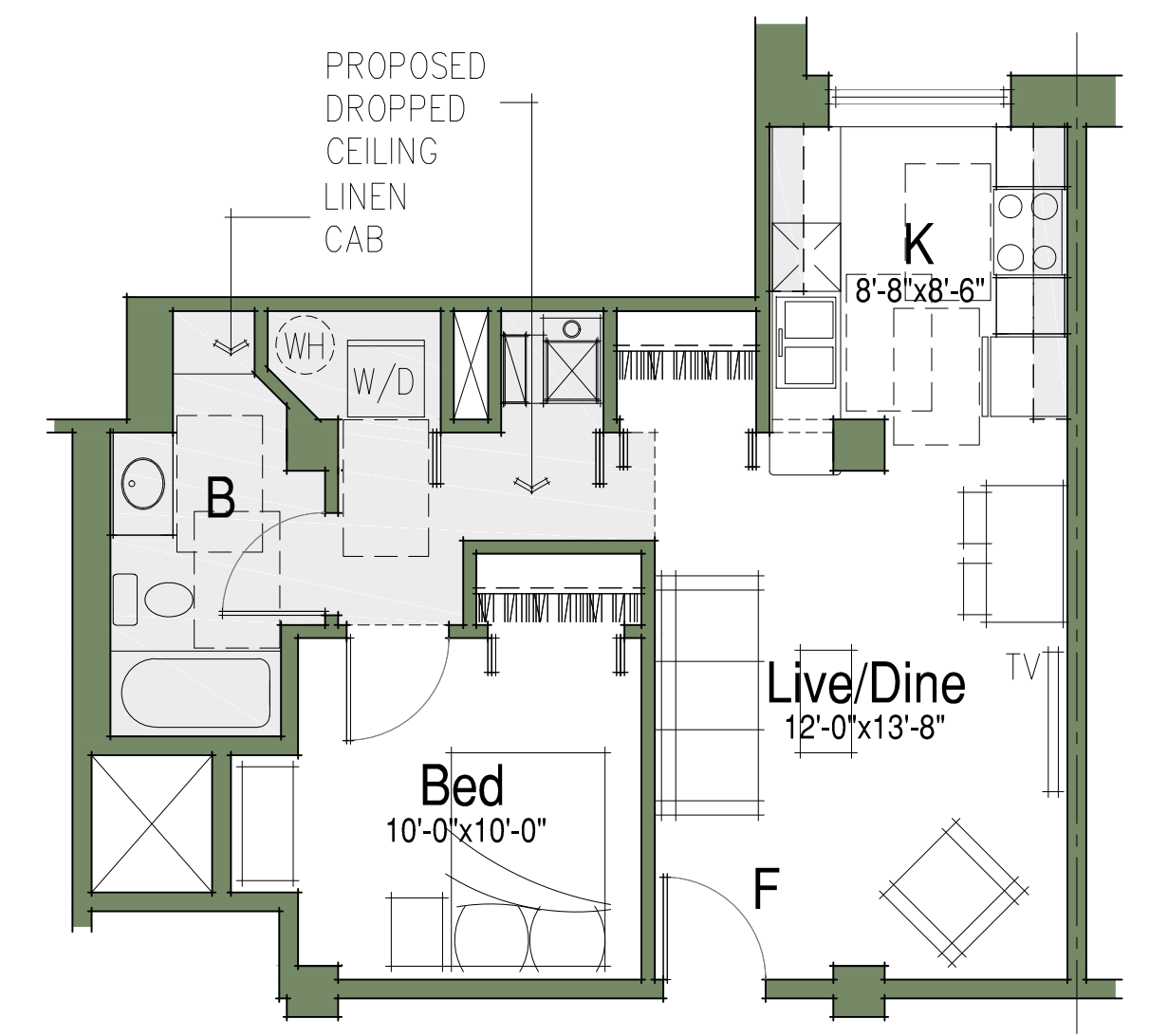
A2-1

1 BED – 606 SF
 541 SF FLOOR AREA
 IBC TYPE B
 W/D – STACKED
 FURN/ELEC WH



A2-2

1 BED – 630 SF
 527 SF FLOOR AREA
 IBC TYPE B
 W/D – STACKED
 FURN/ELEC WH



A2-3

1 BED – 625 SF
 565 SF FLOOR AREA
 IBC TYPE B
 W/D – STACKED
 FURN/ELEC WH

UNIT DESIGNATION	PROPOSED # OF UNITS	PROVIDED # OF UNITS	PROPOSED UNIT AREA	PROVIDED UNIT FLOOR AREA(S)	PROPOSED BED/BATH	PROVIDED BED/BATH
A1	8	8	525	447/471/512	JR-1/1	JR-1/1
A2	8	12	600	527/541/558	JR-1/1	JR-1/1
B1	4	0	650	---	1/1	---
B2	4	4	675	602	1/1	1/1
B3	8	8	750	774	1/1	1/1
B8	4	4	950	858	2/2	2/2
C1	4	4	875	791	2/1	2/1

Proposed Unit Plans

3/16" = 1'-0"

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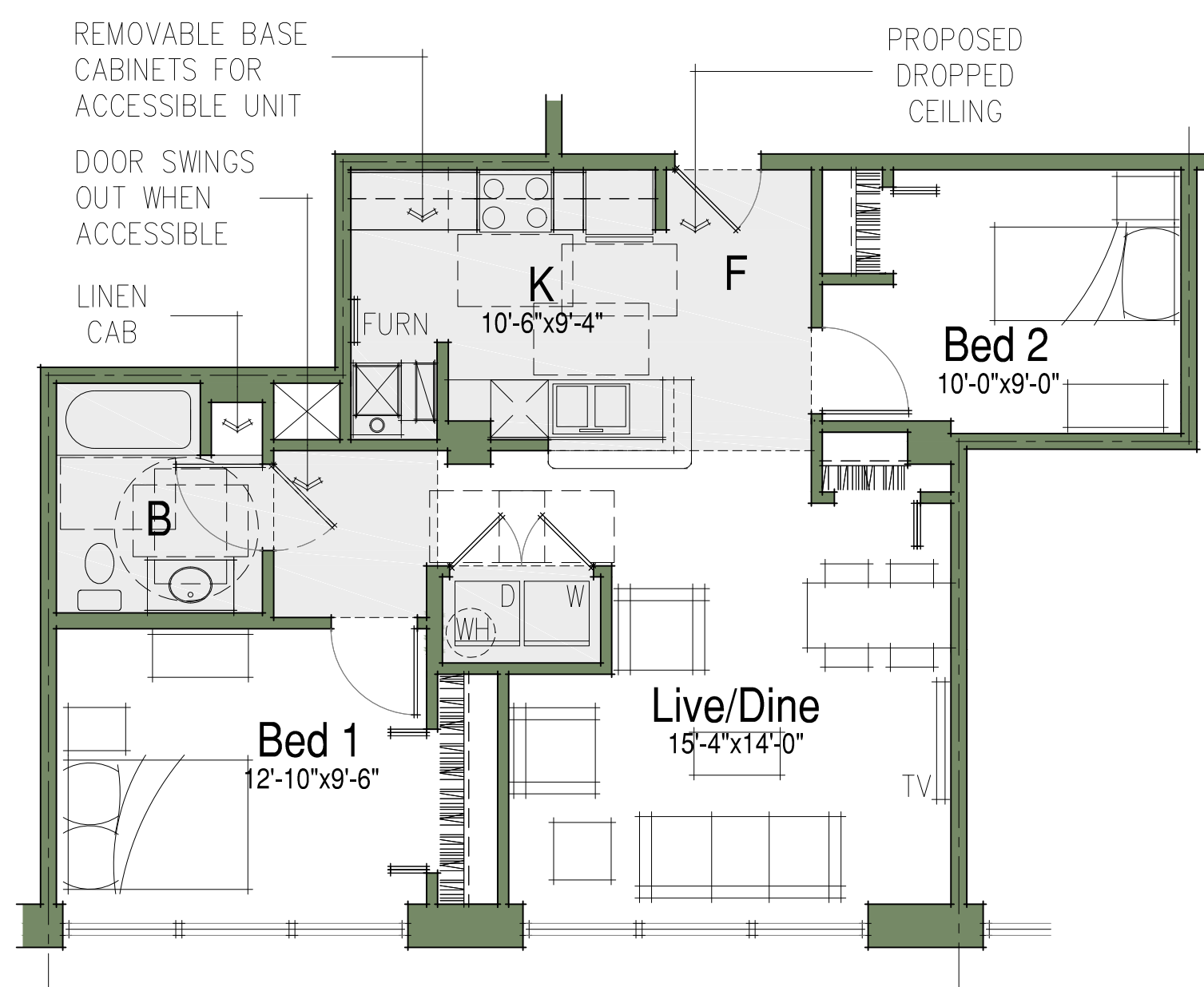


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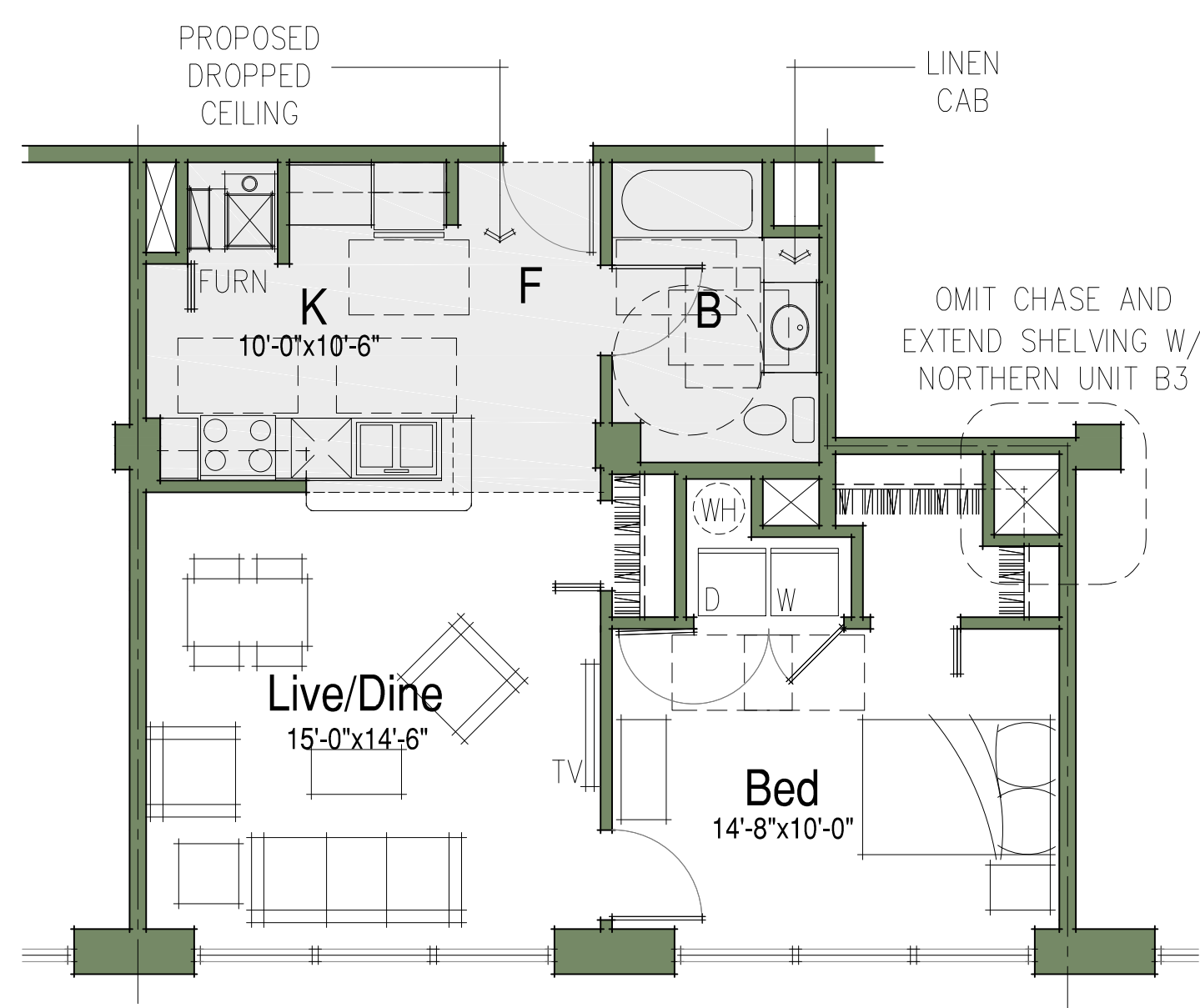
A3.0



C1

2 BED - 872 SF
791 SF FLOOR AREA
IL ACCESS CODE - ADAPTABLE
W/D
FURN/ELEC WH

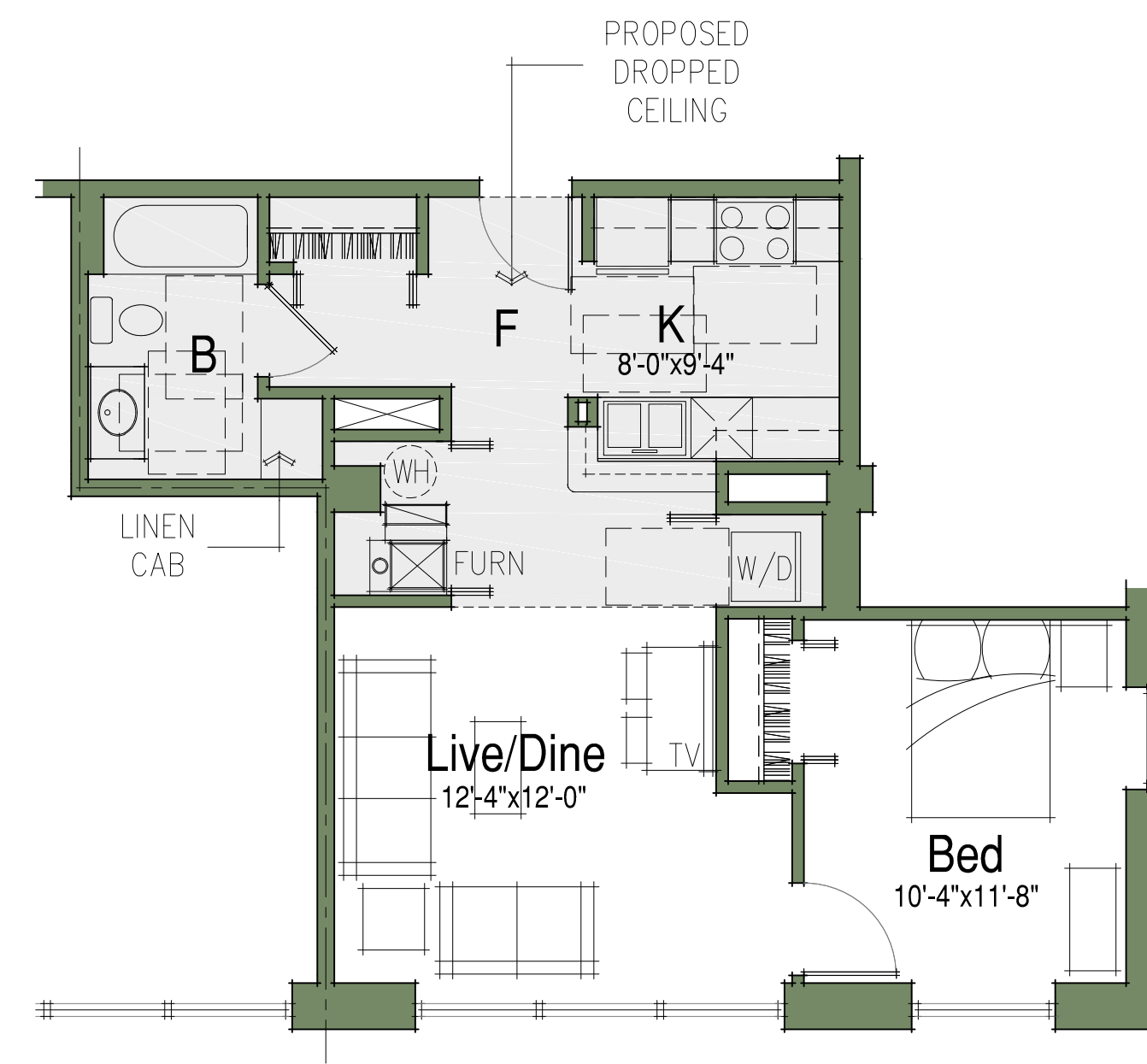
THIS UNIT CAN CONVERT TO ACCESSIBLE UNDER THE ILLINOIS ACCESSIBILITY CODE AND THE INTERNATIONAL BUILDING CODE



B3

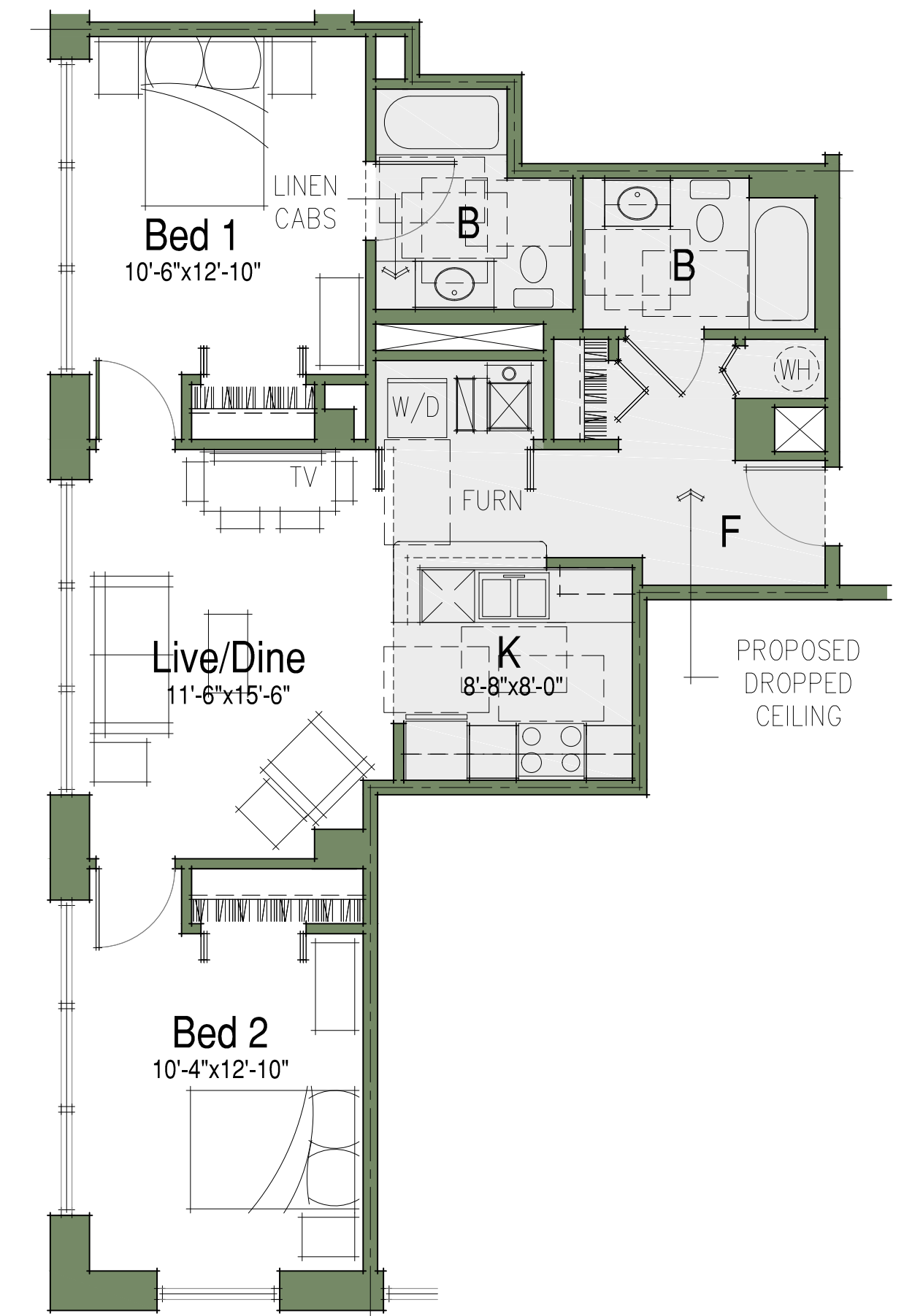
1 BED - 774 SF
700 SF FLOOR AREA
IL ACCESS CODE - ADAPTABLE
W/D
FURN/ELEC WH

THIS UNIT CAN CONVERT TO ACCESSIBLE UNDER THE ILLINOIS ACCESSIBILITY CODE AND THE INTERNATIONAL BUILDING CODE



B2

1 BED - 698 SF
602 SF FLOOR AREA
IBC TYPE B
W/D-STACKED
FURN/ELEC WH



B8

2 BED - 978 SF
858 SF FLOOR AREA
IBC TYPE B
W/D-STACKED
FURN/ELEC WH

UNIT DESIGNATION	PROPOSED # OF UNITS	PROVIDED # OF UNITS	PROPOSED UNIT AREA	PROVIDED UNIT FLOOR AREA(S)	PROPOSED BED/BATH	PROVIDED BED/BATH
A1	8	8	525	447/471/512	JR-1/1	JR-1/1
A2	8	12	600	527/541/558	JR-1/1	JR-1/1
B1	4	0	650	---	1/1	---
B2	4	4	675	602	1/1	1/1
B3	8	8	750	774	1/1	1/1
B8	4	4	950	858	2/2	2/2
C1	4	4	875	791	2/1	2/1

Proposed Unit Plans

3/16" = 1'-0"

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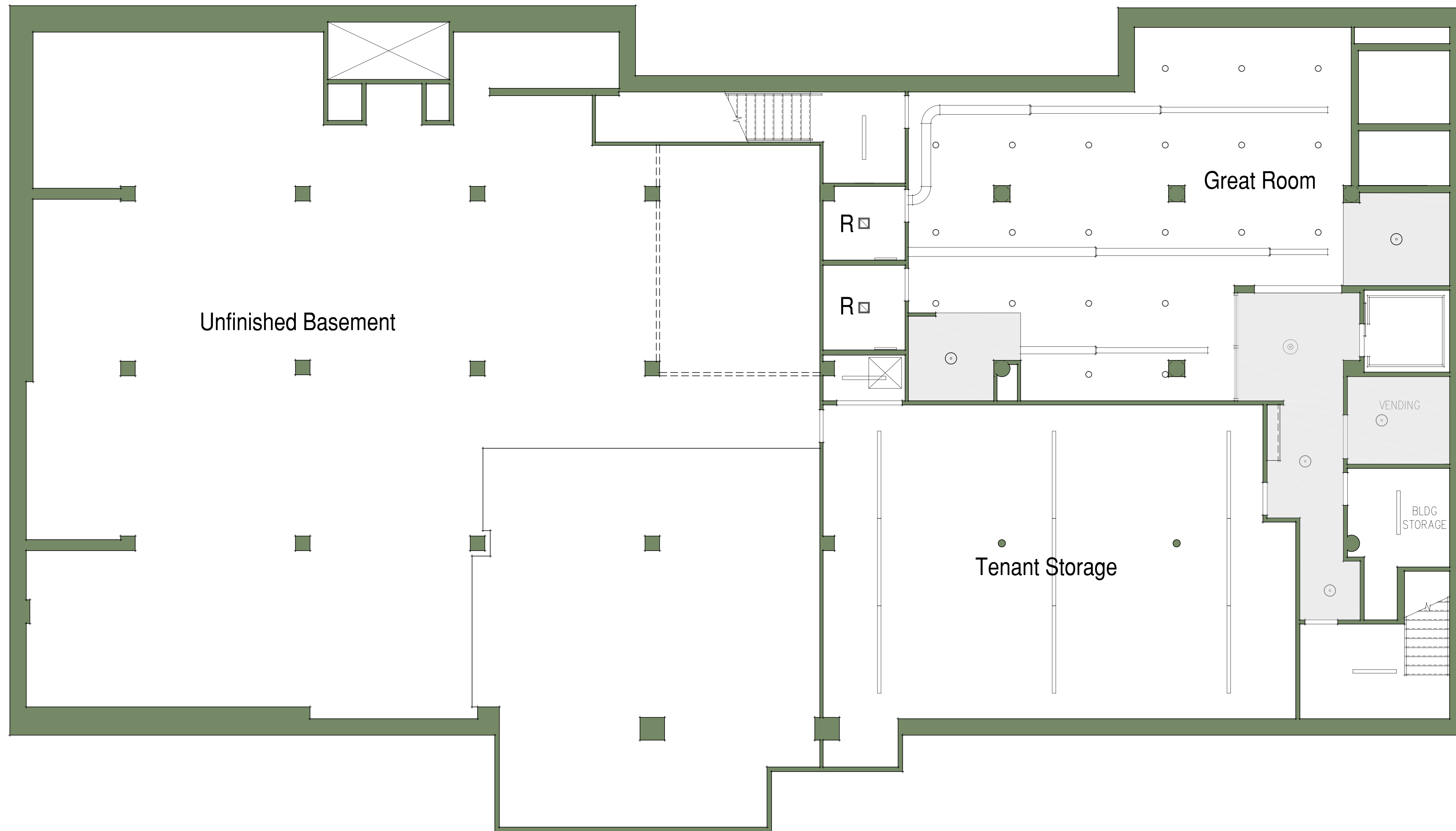


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A3.1



Legend	
○ 6" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT	— WALL MOUNT LIGHT FOR E-LOUNGE
○ 4" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT OVER SINKS WHERE THERE IS NO UNDER CABINET LIGHTING	■ BATHROOM EXHAUST FAN (NO LIGHT) PAINTED TO MATCH CEILING
⊠ BATHROOM EXHAUST FAN WITH LIGHT	— 8'-0" LINEAR FIXTURE, UTILITY SPACES
— WALL MOUNT LIGHT OVER VANITIES (SIMILAR BUT LESS DECORATIVE IN CLOSETS)	— 4'-0" LINEAR FIXTURE, UTILITY SPACES
⊗ CEILING FAN WITH LIGHTS	┌ EXPOSED OVERHEAD HVAC DUCT
⊙ SURFACE MOUNT CEILING LIGHT, PUBLIC CORRIDORS AND SECONDARY PUBLIC SPACES	■ DROPPED CEILING AREA
⊙ MEDIUM LARGE PENDANT LIGHT, LOBBIES	

NOTES:

1. ALL EXPOSED DUCTWORK TO BE PAINTED TO MATCH CEILING
2. NEW CEILINGS IN ALL IMPROVED AREAS TO BE PAINTED GYPSUM BOARD APPLIED TO 4" METAL FURRING CHANNELS OVER THE EXISTING PLASTER CEILING.
3. THE EXISTING CEILING TO REMAIN IN THE TENANT STORAGE AND UNFINISHED BASEMENT AREAS
4. THE EXISTING CEILING IN THE TENANT STORAGE SPACE TO BE PAINTED
5. THE EXISTING DETERIORATED PLASTER TO BE RETAINED AND ENCAPSULATED.
6. REFER TO SHEET A112 FOR CEILING FINISH

Proposed Basement Reflected Ceiling Plan

3/16" = 1'-0"

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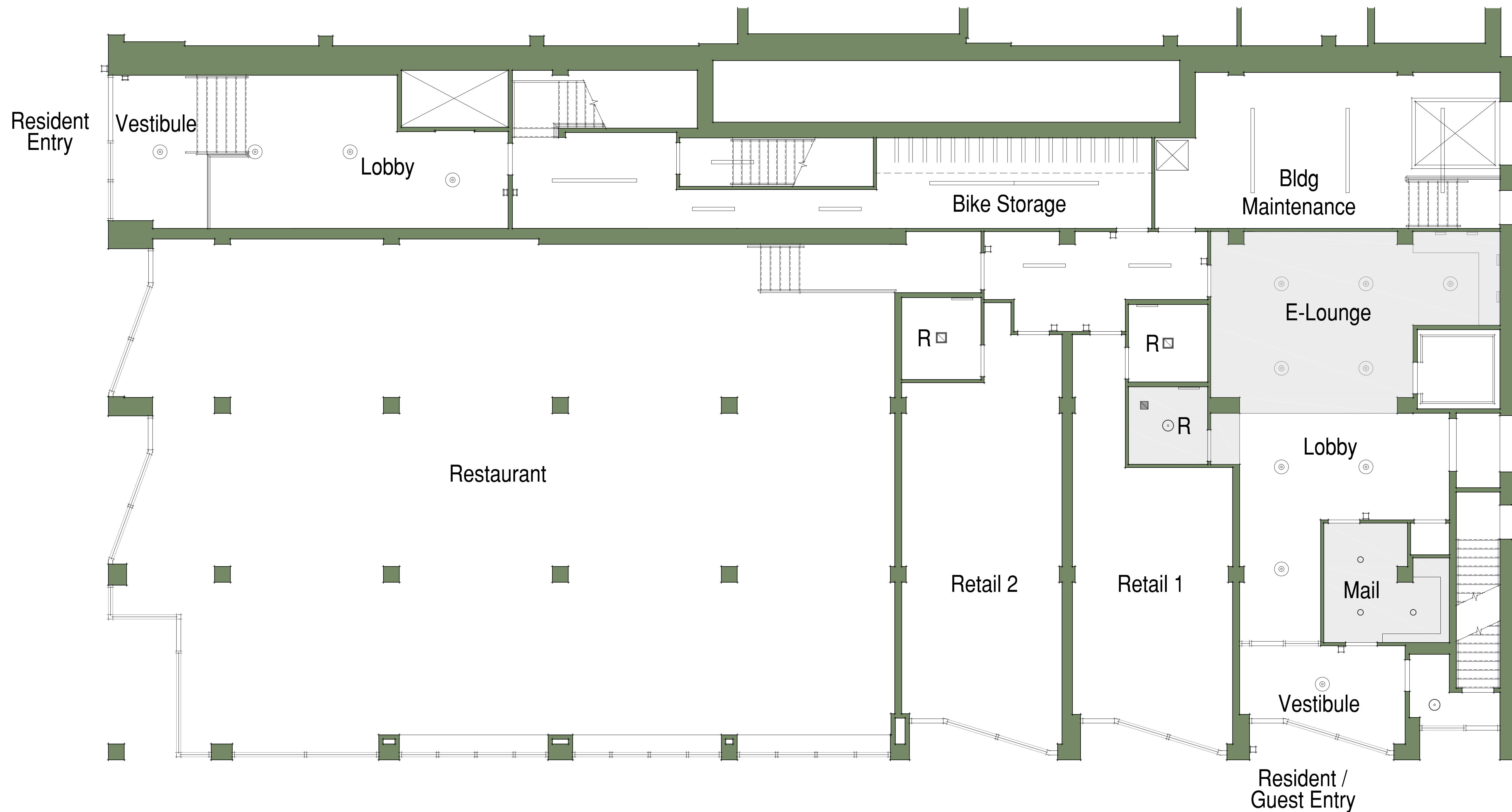


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A4.0



Legend	
○ 6" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT	— WALL MOUNT LIGHT FOR E-LOUNGE
○ 4" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT OVER SINKS WHERE THERE IS NO UNDER CABINET LIGHTING	■ BATHROOM EXHAUST FAN (NO LIGHT) PAINTED TO MATCH CEILING
⊠ BATHROOM EXHAUST FAN WITH LIGHT	— 8'-0" LINEAR FIXTURE, UTILITY SPACES
— WALL MOUNT LIGHT OVER VANITIES (SIMILAR BUT LESS DECORATIVE IN CLOSETS)	— 4'-0" LINEAR FIXTURE, UTILITY SPACES
⊗ CEILING FAN WITH LIGHTS	┌ EXPOSED OVERHEAD HVAC DUCT
○ SURFACE MOUNT CEILING LIGHT, PUBLIC CORRIDORS AND SECONDARY PUBLIC SPACES	■ DROPPED CEILING AREA
⊙ MEDIUM LARGE PENDANT LIGHT, LOBBIES	

NOTES:

1. THE CEILING IN ALL IMPROVED AREAS TO BE PAINTED GYPSUM BOARD
2. THE RESTAURANT, RETAIL 1 AND RETAIL 2 ARE TO REMAIN UNFINISHED UNTIL A TENANT IS UNDER CONTRACT
3. REMOVE ANY EXISTING SUSPENDED ACOUSTICAL TILE AND SUPPORTING GRID SYSTEMS. NEW CEILINGS TO BE GYPSUM BOARD APPLIED TO 4" METAL FURRING CHANNELS OVER THE EXISTING PLASTER CEILING.
4. THE EXISTING DETERIORATED PLASTER TO BE RETAINED AND ENCAPSULATED.
5. REFER TO SHEET A112 FOR CEILING FINISH

Proposed First Floor Reflected Ceiling Plan

3/16" = 1'-0"

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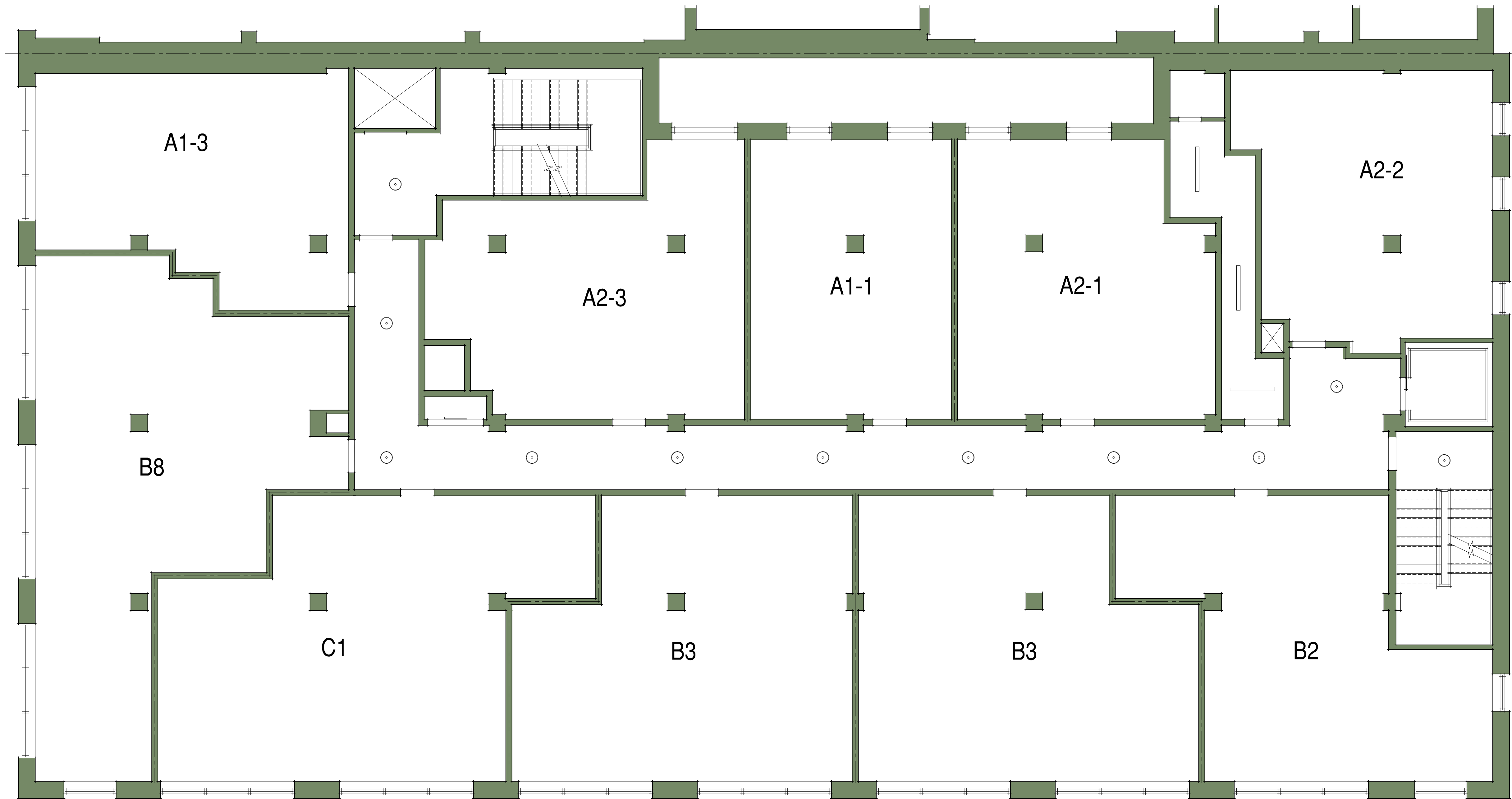


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A4.1



Legend			
○	6" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT	—	WALL MOUNT LIGHT FOR E-LOUNGE
○	4" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT OVER SINKS WHERE THERE IS NO UNDER CABINET LIGHTING	■	BATHROOM EXHAUST FAN (NO LIGHT) PAINTED TO MATCH CEILING
⊠	BATHROOM EXHAUST FAN WITH LIGHT	—	8'-0" LINEAR FIXTURE, UTILITY SPACES
—	WALL MOUNT LIGHT OVER VANITIES (SIMILAR BUT LESS DECORATIVE IN CLOSETS)	—	4'-0" LINEAR FIXTURE, UTILITY SPACES
⊗	CEILING FAN WITH LIGHTS	┌	EXPOSED OVERHEAD HVAC DUCT
○	SURFACE MOUNT CEILING LIGHT, PUBLIC CORRIDORS AND SECONDARY PUBLIC SPACES	■	DROPPED CEILING AREA
⊙	MEDIUM LARGE PENDANT LIGHT, LOBBIES		

NOTES:

1. ALL CEILING AREAS TO BE PAINTED GYPSUM BOARD
2. SEE SHEETS A4.3 - A4.4 FOR INDIVIDUAL UNIT REFLECTED CEILING PLANS
3. NEW CEILINGS TO BE GYPSUM BOARD APPLIED TO 4" METAL FURRING CHANNELS OVER THE EXISTING PLASTER CEILING. THE NEW GYPSUM BOARD CEILING IS TO EXTEND DIRECTLY TO THE EXTERIOR WINDOW WALLS
4. THE EXISTING DETERIORATED PLASTER TO BE RETAINED AND ENCAPSULATED.
5. FOR TYPICAL UNIT CEILING FINISHES SEE A4.3-A4.4 FOR DETAILS
6. REFER TO SHEET A112 FOR CEILING FINISH

Proposed Second-Fifth Floor Reflected Ceiling Plan

3/16" = 1'-0"

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A4.2



Legend	
○ 6" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT	— WALL MOUNT LIGHT FOR E-LOUNGE
○ 4" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT OVER SINKS WHERE THERE IS NO UNDER CABINET LIGHTING	⊠ BATHROOM EXHAUST FAN (NO LIGHT) PAINTED TO MATCH CEILING
⊠ BATHROOM EXHAUST FAN WITH LIGHT	— 8'-0" LINEAR FIXTURE, UTILITY SPACES
— WALL MOUNT LIGHT OVER VANITIES (SIMILAR BUT LESS DECORATIVE IN CLOSETS)	— 4'-0" LINEAR FIXTURE, UTILITY SPACES
⊗ CEILING FAN WITH LIGHTS	└─┘ EXPOSED OVERHEAD HVAC DUCT
○ SURFACE MOUNT CEILING LIGHT, PUBLIC CORRIDORS AND SECONDARY PUBLIC SPACES	■ DROPPED CEILING AREA
⊙ MEDIUM LARGE PENDANT LIGHT, LOBBIES	

NOTES:

1. ALL CEILING AREAS TO BE PAINTED GYPSUM BOARD
2. SEE SHEETS A4.3 - A4.4 FOR INDIVIDUAL UNIT REFLECTED CEILING PLANS
3. NEW CEILINGS TO BE GYPSUM BOARD APPLIED TO 4" METAL FURRING CHANNELS OVER THE EXISTING PLASTER CEILING. THE NEW GYPSUM BOARD CEILING IS TO EXTEND DIRECTLY TO THE EXTERIOR WINDOW WALLS
4. THE EXISTING DETERIORATED PLASTER TO BE RETAINED AND ENCAPSULATED.
5. REFER TO SHEET A112 FOR CEILING FINISH

Proposed Unit Reflected Ceiling Plans

3/16" = 1'-0"

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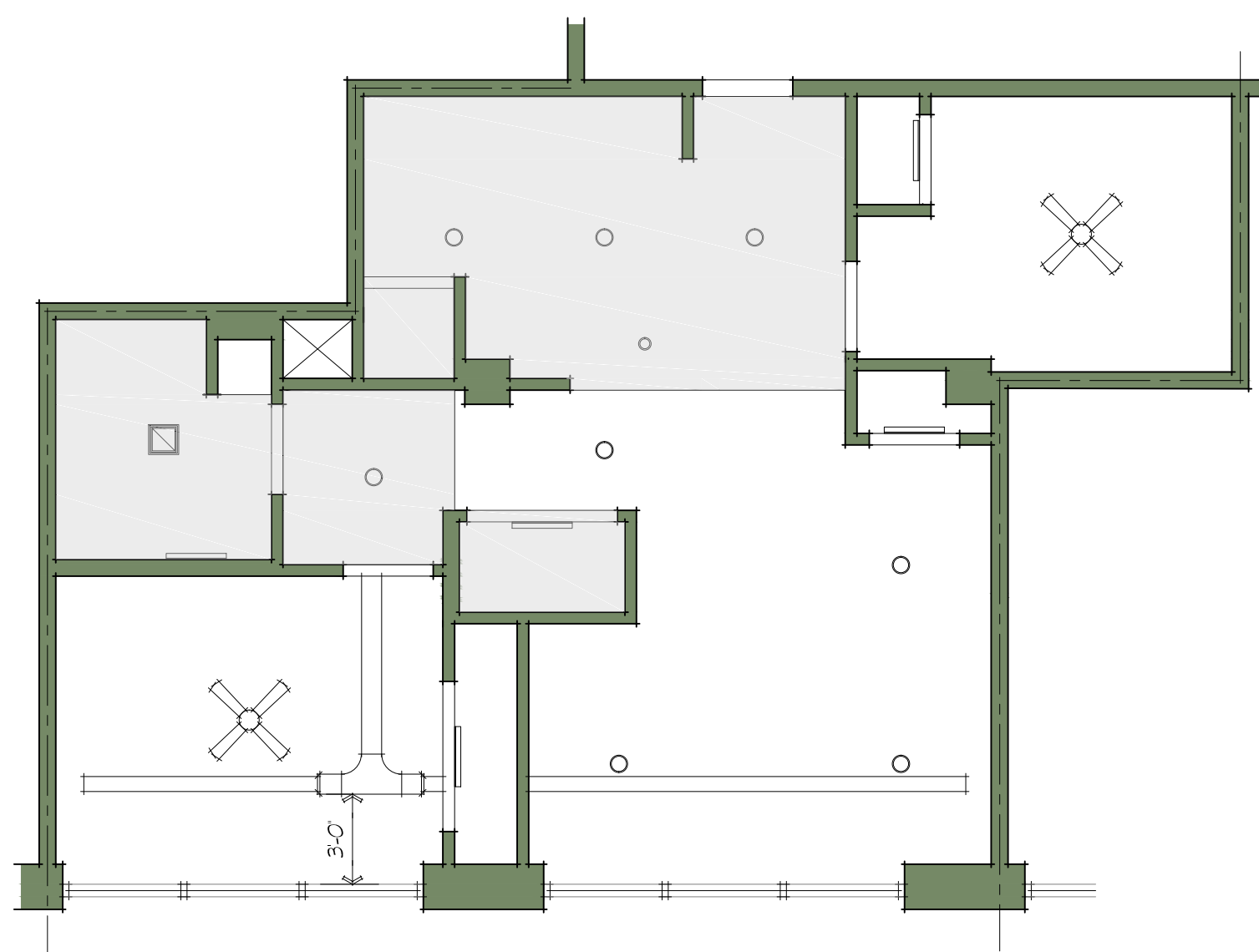
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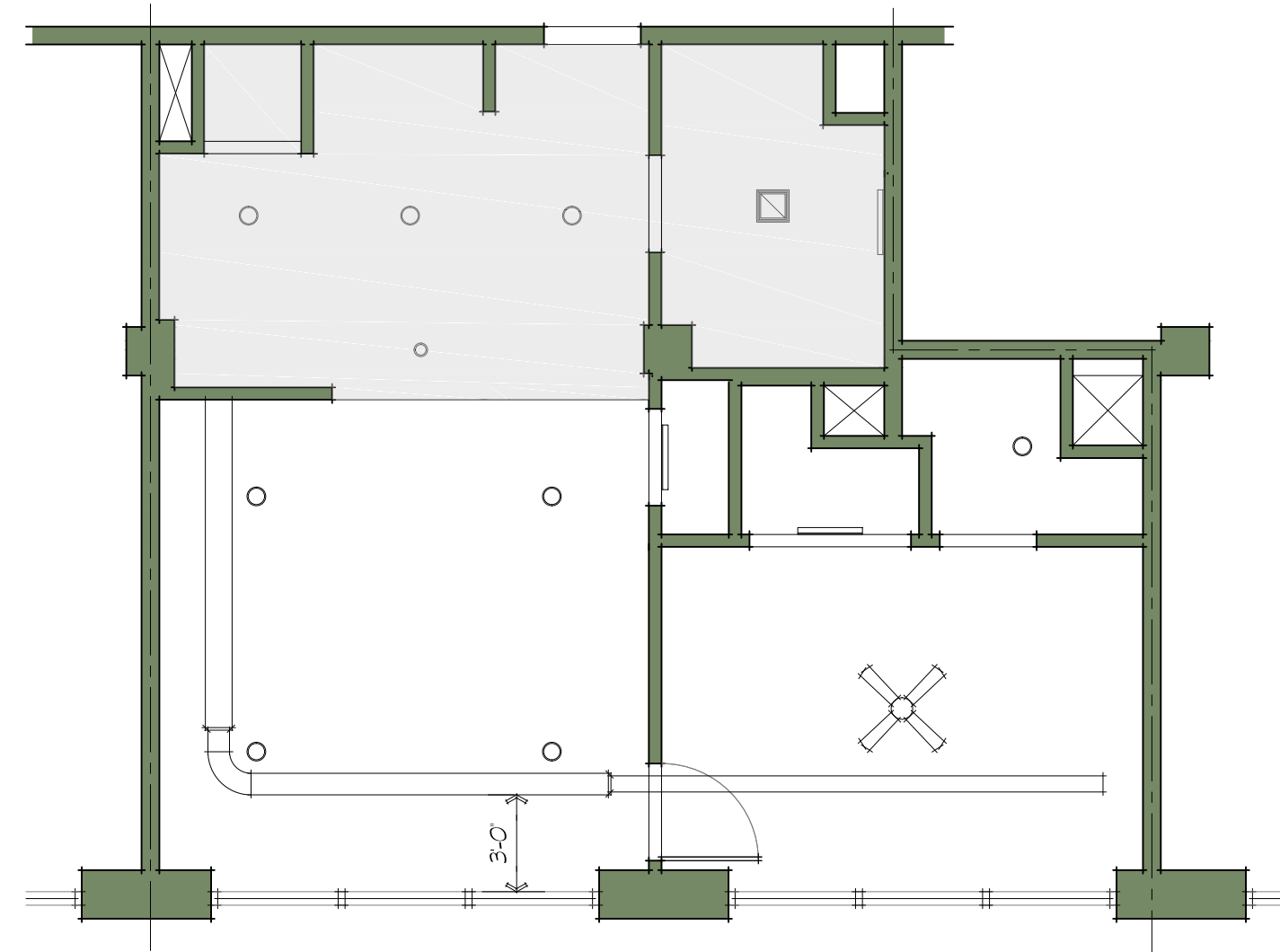
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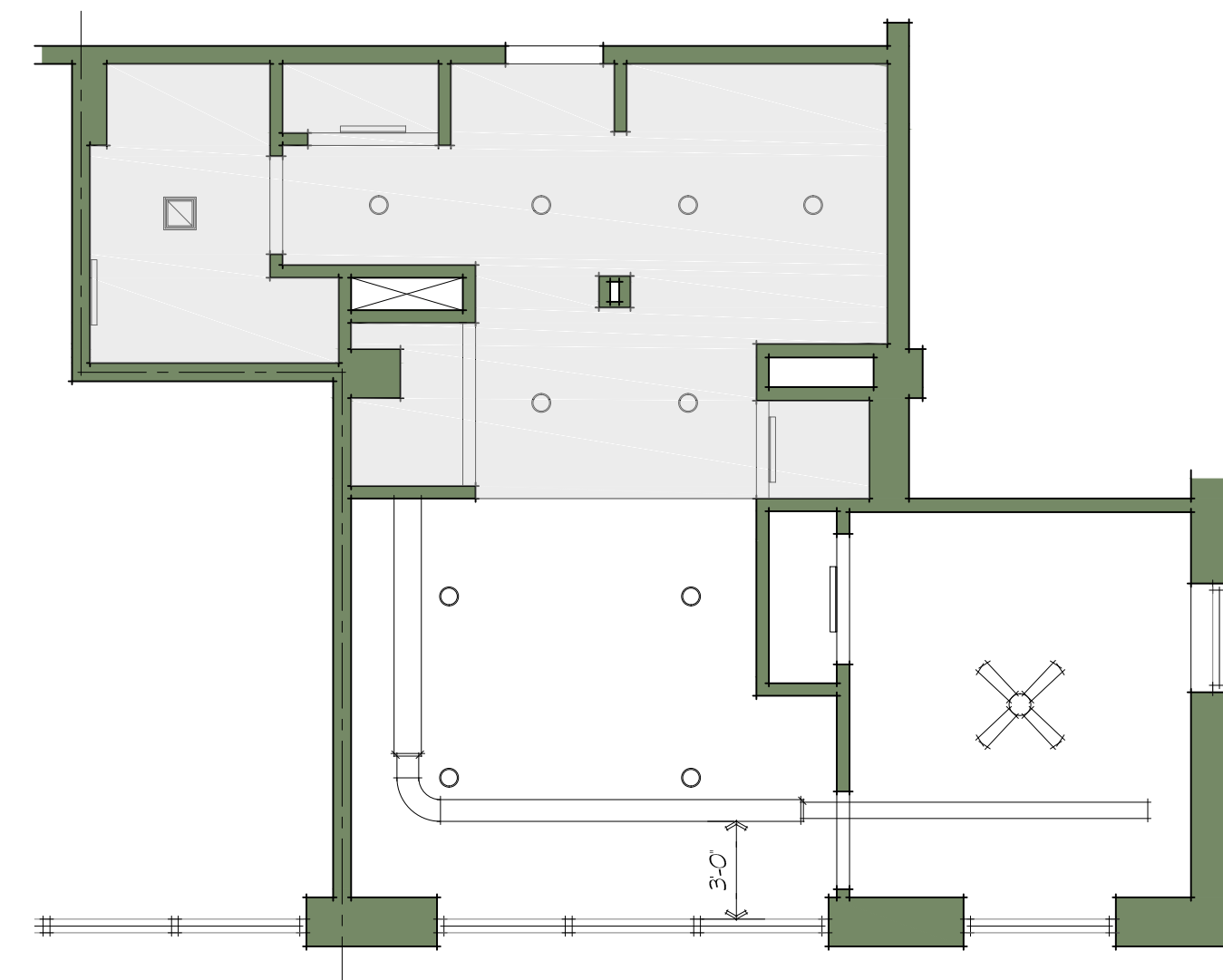
A4.3



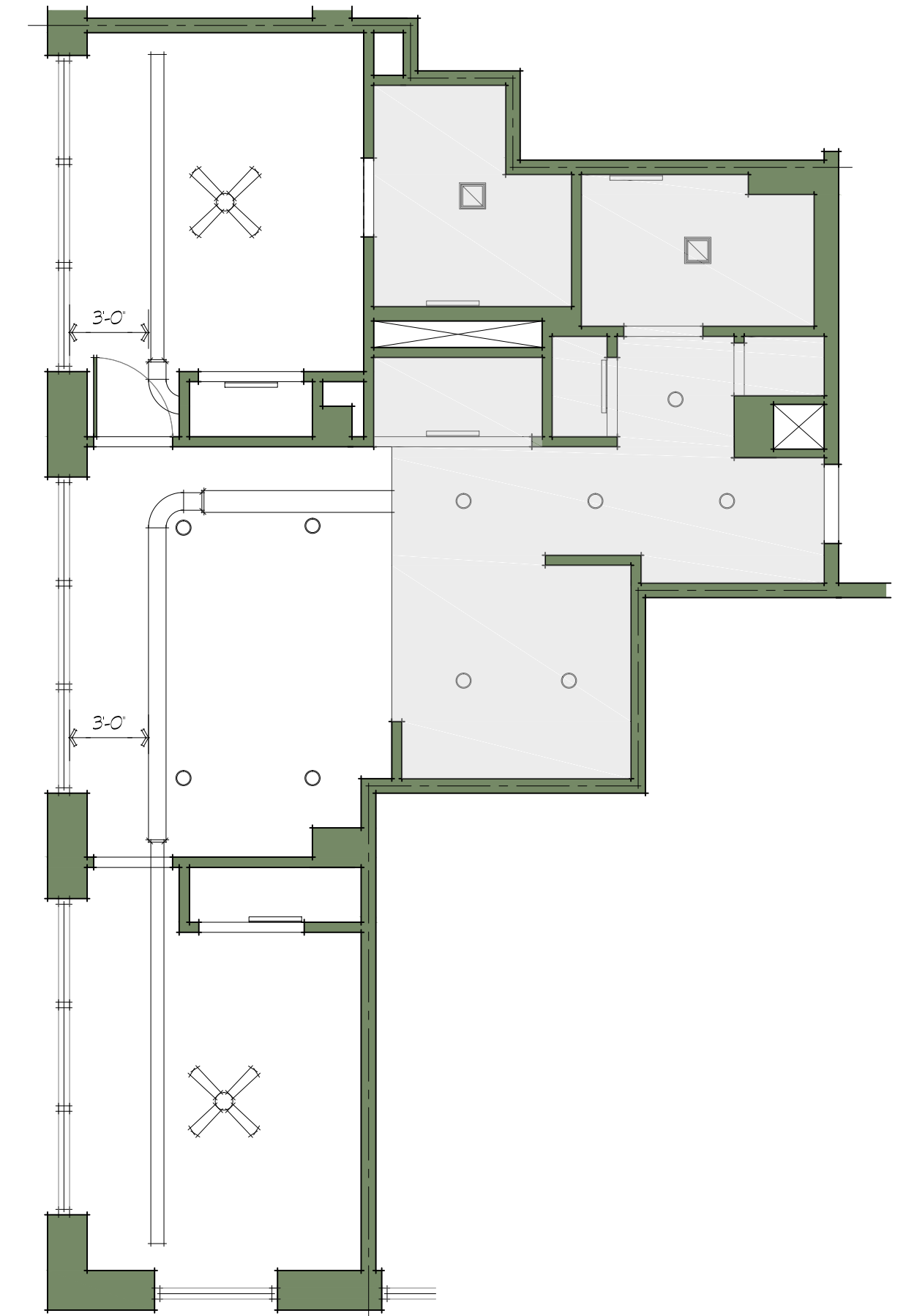
C1



B3



B2



B8

Legend	
○ 6" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT	— WALL MOUNT LIGHT FOR E-LOUNGE
○ 4" RECESSED OR SUPER THIN SURFACE MOUNT CEILING LIGHT OVER SINKS WHERE THERE IS NO UNDER CABINET LIGHTING	■ BATHROOM EXHAUST FAN (NO LIGHT) PAINTED TO MATCH CEILING
□ BATHROOM EXHAUST FAN WITH LIGHT	— 8'-0" LINEAR FIXTURE, UTILITY SPACES
— WALL MOUNT LIGHT OVER VANITIES (SIMILAR BUT LESS DECORATIVE IN CLOSETS)	— 4'-0" LINEAR FIXTURE, UTILITY SPACES
⊗ CEILING FAN WITH LIGHTS	┌ EXPOSED OVERHEAD HVAC DUCT
○ SURFACE MOUNT CEILING LIGHT, PUBLIC CORRIDORS AND SECONDARY PUBLIC SPACES	■ DROPPED CEILING AREA
⊙ MEDIUM LARGE PENDANT LIGHT, LOBBIES	

NOTES:

1. ALL CEILING AREAS TO BE PAINTED GYPSUM BOARD
2. SEE SHEETS A4.3 - A4.4 FOR INDIVIDUAL UNIT REFLECTED CEILING PLANS
3. NEW CEILINGS TO BE GYPSUM BOARD APPLIED TO 4" METAL FURRING CHANNELS OVER THE EXISTING PLASTER CEILING. THE NEW GYPSUM BOARD CEILING IS TO EXTEND DIRECTLY TO THE EXTERIOR WINDOW WALLS
4. THE EXISTING DETERIORATED PLASTER TO BE RETAINED AND ENCAPSULATED.
5. REFER TO SHEET A112 FOR CEILING FINISH

Proposed Unit Reflected Ceiling Plans

3/16" = 1'-0"

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A4.4

- T/PENTHOUSE
ELEV 180'-10"
- T/PENTHOUSE
ELEV 178'-8"
- T/PARAPET
ELEV 172'-10"
- T/ROOF SOUTH
ELEV 171'-10"
- LEVEL 5
ELEV 152'-6"
- LEVEL 4
ELEV 141'-2"
- LEVEL 3
ELEV 130'-0"
- LEVEL 2
ELEV 118'-9"
- LEVEL 1
ELEV 100'-0"
- BASEMENT
ELEV 91'-2"

REMOVE EXISTING
DOOR AND REPLACE
WITH NEW

DECORATIVE PANEL
TO BE CLEANED

DECORATIVE PANEL
TO BE CLEANED AS
NEEDED

EXISTING SPANDREL
PANELS TO BE REPAIRED
AND REPAINTED AS
NEEDED

TUCKPOINT BRICK AS
NEEDED

EXISTING WINDOWS TO
BE CLEANED AND
REPAIRED AS NEEDED

FABRIC AWNING
STRUCTURE TO
REMAIN, FABRIC TO
BE REPLACED

EXISTING STOREFRONT
GLASS PARTITIONS TO
BE CLEANED AND
REPAIRED AS NEEDED

EXISTING STOREFRONT SIGN
STRUCTURES, FRAMES, AND
BACKGROUND TO REMAIN,
REPAIR AS NEEDED.

NOTES:

1. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS

South Spring Street

Existing East Elevation

3/16" = 1'-0"

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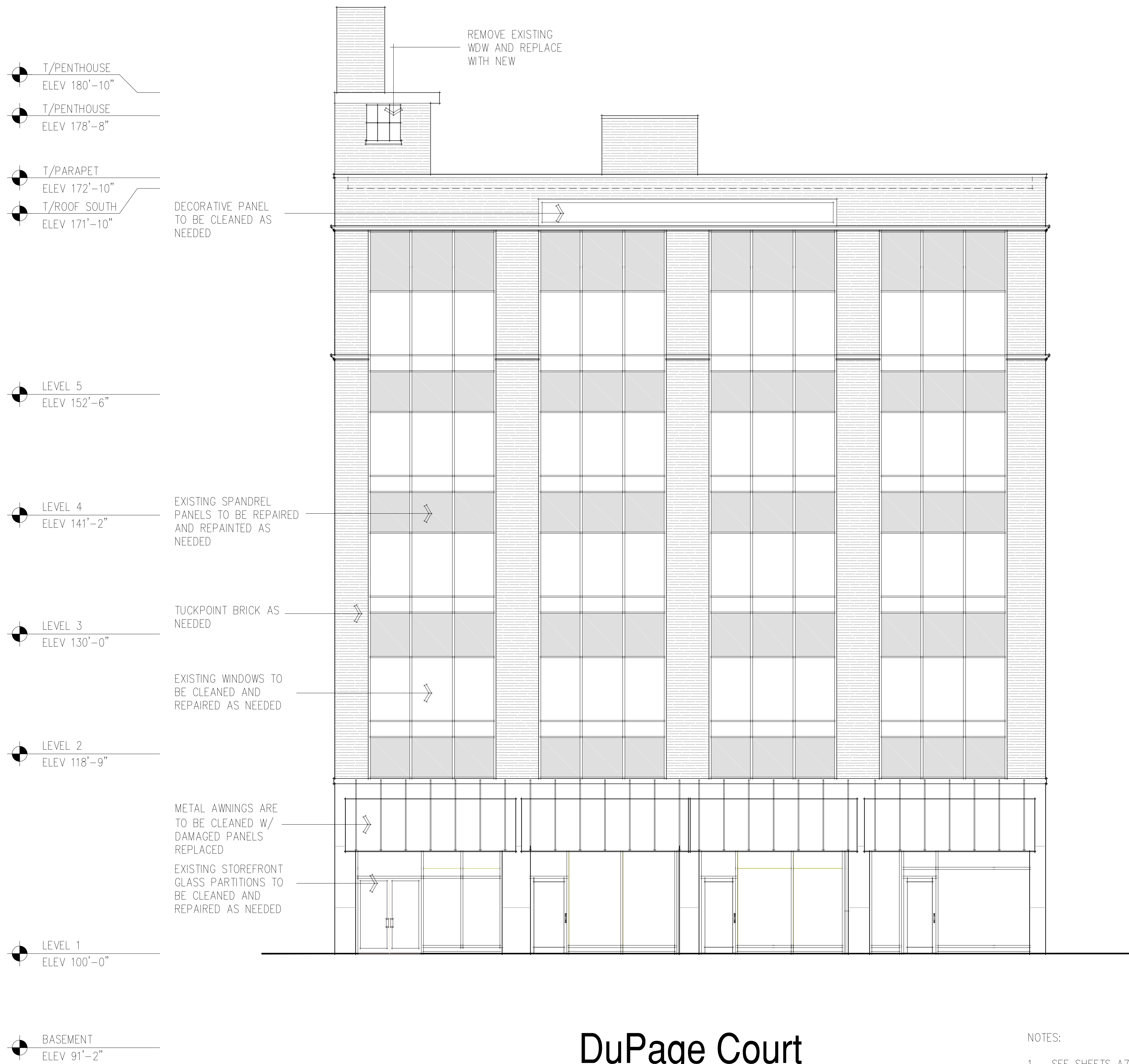


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A5.0



Existing South Elevation

3/16" = 1'-0"

DuPage Court

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NOTES:

1. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS



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A5.1



Existing North Elevation

3/16" = 1'-0"

Alley

NOTES:
1. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS

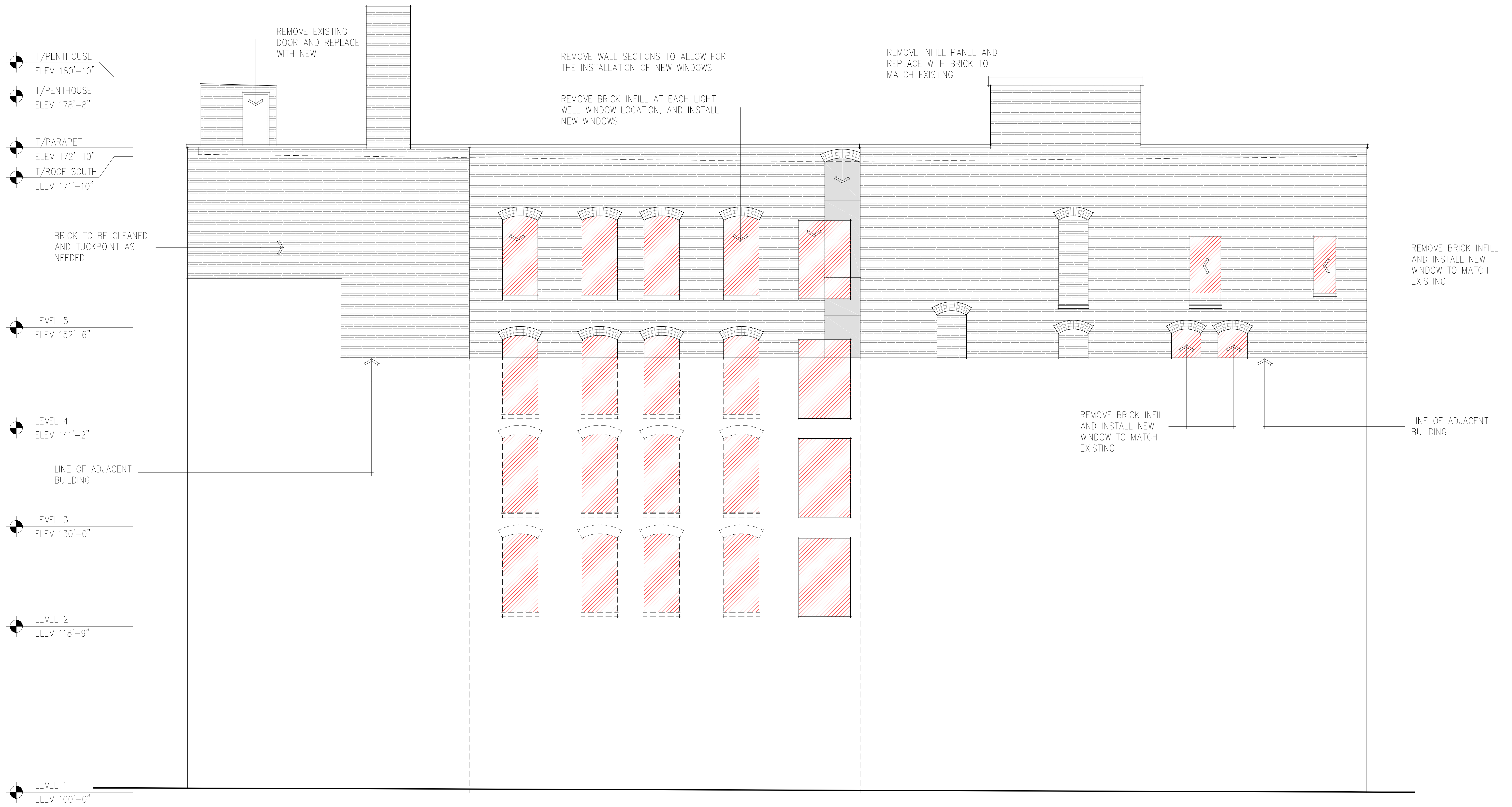
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T/PENTHOUSE
ELEV 180'-10"
 T/PENTHOUSE
ELEV 178'-8"
 T/PARAPET
ELEV 172'-10"
 T/ROOF SOUTH
ELEV 171'-10"

BRICK TO BE CLEANED AND TUCKPOINT AS NEEDED

LEVEL 5
ELEV 152'-6"

LEVEL 4
ELEV 141'-2"

LEVEL 3
ELEV 130'-0"

LEVEL 2
ELEV 118'-9"

LEVEL 1
ELEV 100'-0"

BASEMENT
ELEV 91'-2"

NOTES:
1. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS

Existing West Elevation

3/16" = 1'-0"

40 DuPage Court Apartments

Elgin, IL
05.08.20



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 630.202.7847
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A5.3

- T/PENTHOUSE
ELEV 180'-10"
- T/PENTHOUSE
ELEV 178'-8"
- T/PARAPET
ELEV 172'-10"
- T/ROOF SOUTH
ELEV 171'-10"
- LEVEL 5
ELEV 152'-6"
- LEVEL 4
ELEV 141'-2"
- LEVEL 3
ELEV 130'-0"
- LEVEL 2
ELEV 118'-9"
- LEVEL 1
ELEV 100'-0"
- BASEMENT
ELEV 91'-2"



South Spring Street

Proposed East Elevation

3/16" = 1'-0"

40 DuPage Court Apartments

Elgin, IL
05.08.20

NOTES:

1. ALL NEW MASONRY WORK MUST MATCH ADJACENT EXISTING MASONRY. THIS INCLUDES THE FOLLOWING BUT IS NOT LIMITED TO: MASONRY CLEANING, BRICK AND MORTAR REPAIR, BRICK REPLACEMENT, MASONRY INFILL, REPOINTING, ETC.
2. A MOCK-UP OR SMALL SECTION OF BRICK AND MORTAR INSTALLATION MUST BE PREPARED NEXT TO THE EXISTING MASONRY TO VERIFY MATCH. THE MOCK-UP SHOULD INCLUDE: A SURFACE GENTLY CLEANED WITH SOAP AND WATER, A DIAGRAM WITH AREAS OF MASONRY WORK SHOWN, LIST OF PRODUCTS USED AND SPECIFICATION SHEETS FOR PRODUCTS USED.
3. PHOTOS OF THE MOCK-UP OF THE PROPOSED MASONRY WORK MUST BE SENT TO THE STATE HISTORIC PRESERVATION OFFICE FOR APPROVAL PRIOR TO COMMENCING MASONRY WORK.
4. DOOR OR WINDOW OPENINGS TO BE FILLED IN WITH BRICK ARE TO BE FILLED SUCH THAT THE FACE OF THE NEW BRICK IS RECESSED 1" BEHIND THE FACE OF THE EXISTING BRICK FACADE
5. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS



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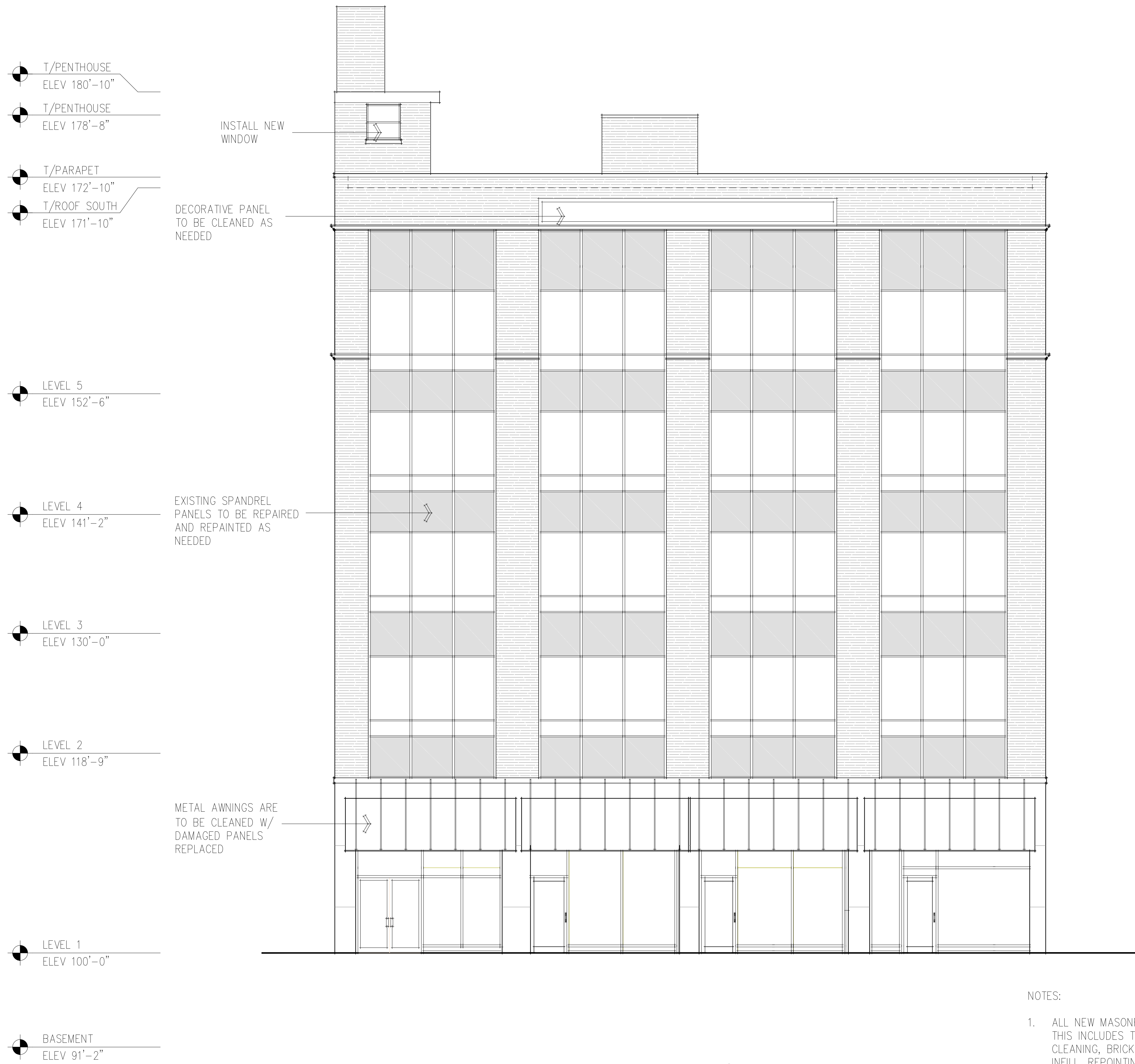


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A6.0



NOTES:

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5. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS.

DuPage Court

40 DuPage Court Apartments Elgin, IL 05.08.20

Proposed South Elevation 3/16" = 1'-0"



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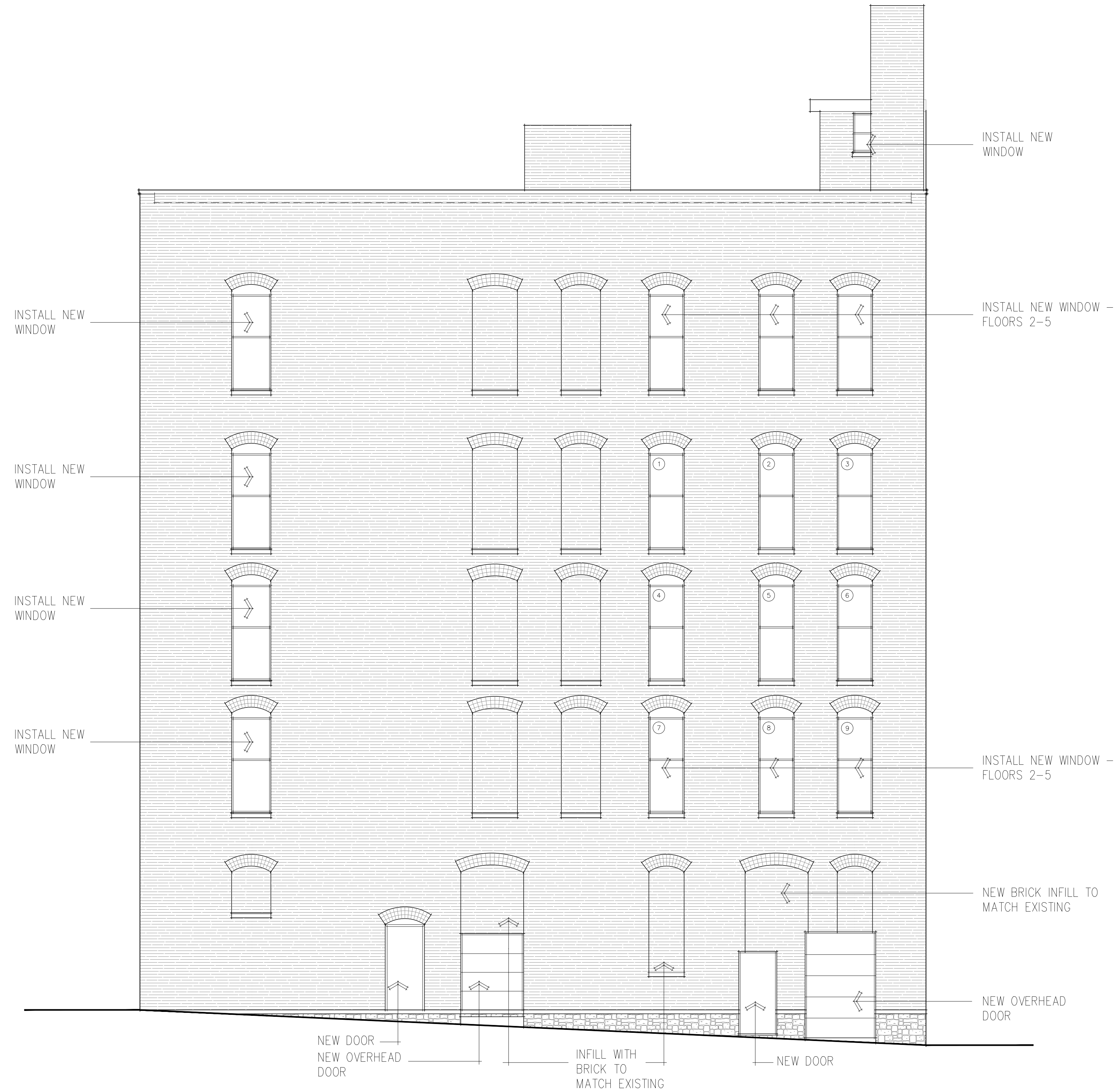
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- T/PENTHOUSE
ELEV 180'-10"
- T/PENTHOUSE
ELEV 178'-8"
- T/PARAPET
ELEV 172'-10"
- T/ROOF SOUTH
ELEV 171'-10"

- LEVEL 5
ELEV 152'-6"
- LEVEL 4
ELEV 141'-2"
- LEVEL 3
ELEV 130'-0"
- LEVEL 2
ELEV 118'-9"

- LEVEL 1
ELEV 100'-0"

- BASEMENT
ELEV 91'-2"



NOTES:

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5. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS.

Alley

40 DuPage Court Apartments

Elgin, IL
05.08.20

Proposed North Elevation

3/16" = 1'-0"



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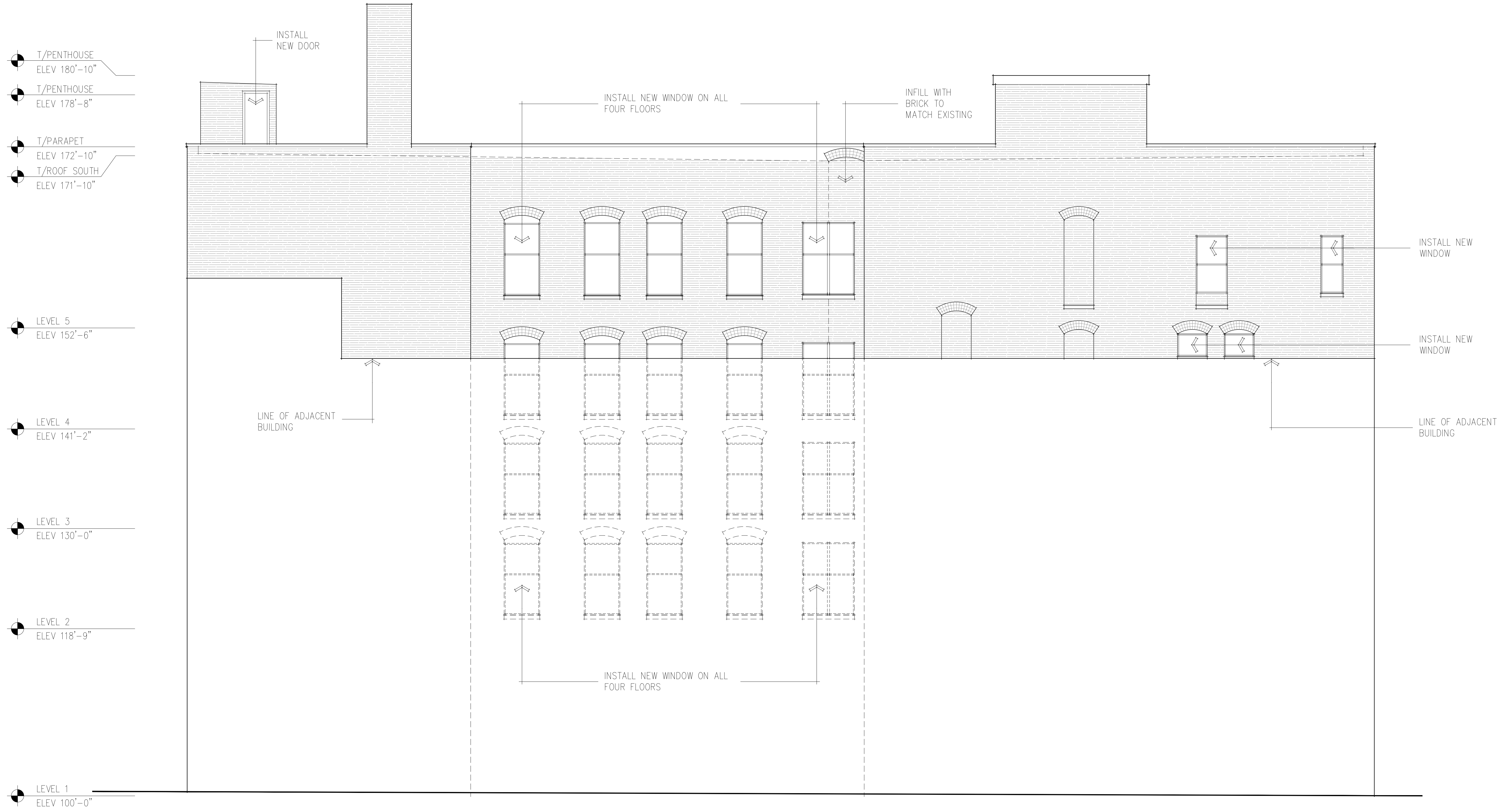


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A6.2



- T/PENTHOUSE
ELEV 180'-10"
- T/PENTHOUSE
ELEV 178'-8"
- T/PARAPET
ELEV 172'-10"
- T/ROOF SOUTH
ELEV 171'-10"
- LEVEL 5
ELEV 152'-6"
- LEVEL 4
ELEV 141'-2"
- LEVEL 3
ELEV 130'-0"
- LEVEL 2
ELEV 118'-9"
- LEVEL 1
ELEV 100'-0"
- BASEMENT
ELEV 91'-2"

NOTES:

1. ALL NEW MASONRY WORK MUST MATCH ADJACENT EXISTING MASONRY. THIS INCLUDES THE FOLLOWING BUT IS NOT LIMITED TO: MASONRY CLEANING, BRICK AND MORTAR REPAIR, BRICK REPLACEMENT, MASONRY INFILL, REPOINTING, ETC.
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5. SEE SHEETS A701 AND A702 FOR WINDOW NOTES AND DETAILS.

Proposed West Elevation

3/16" = 1'-0"

40 DuPage Court Apartments

Elgin, IL
05.08.20



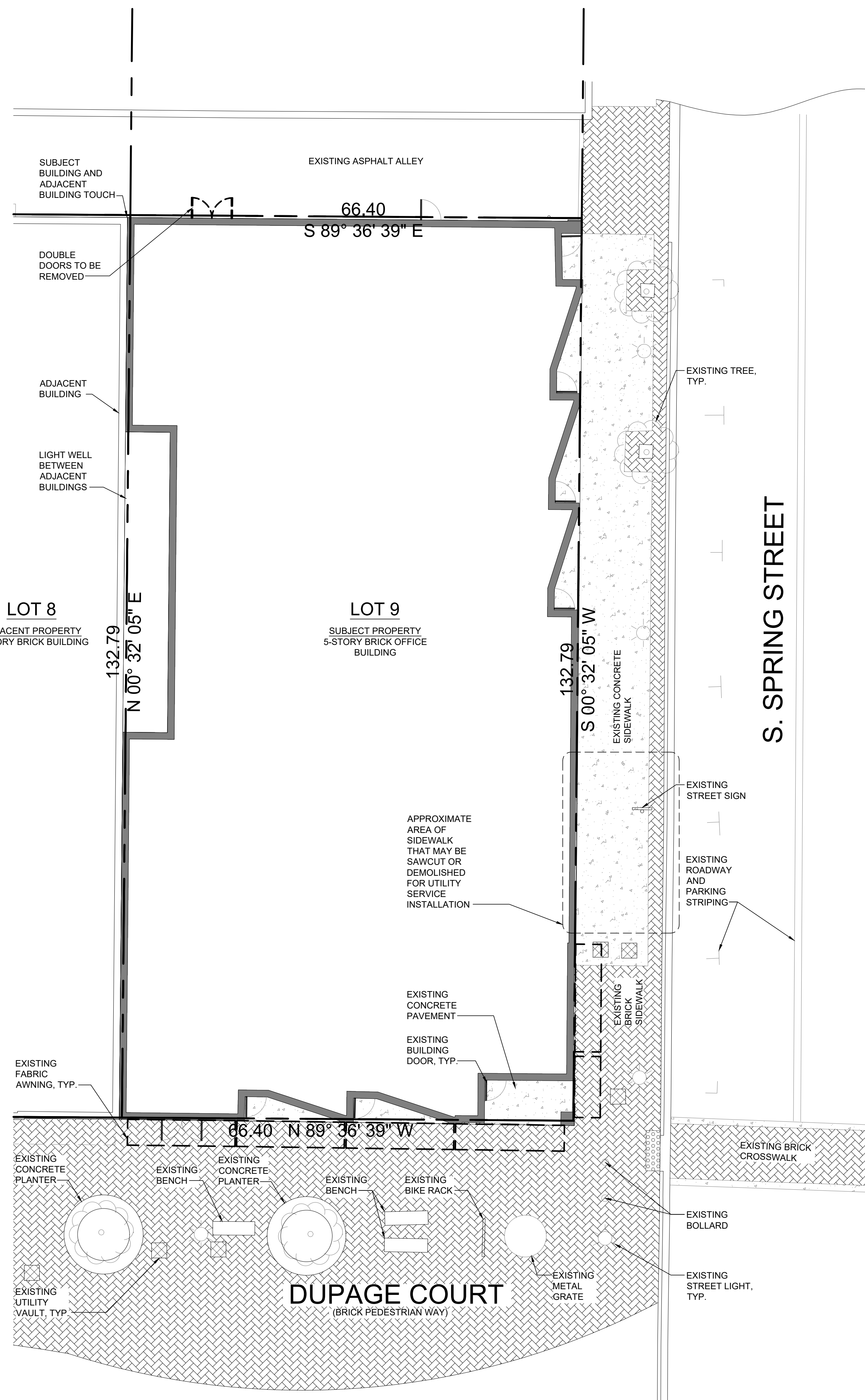
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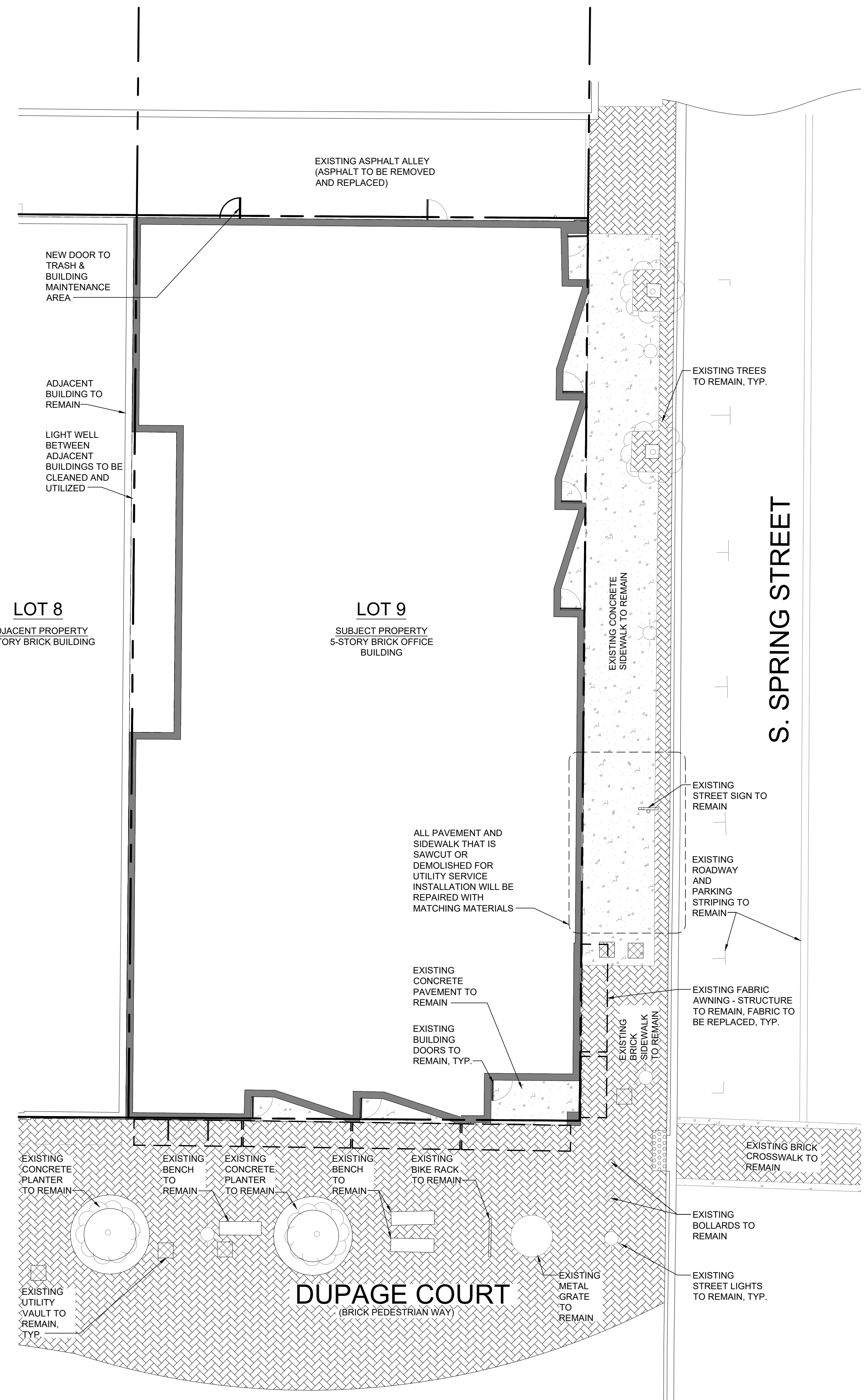
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A6.3



1 EXISTING SITE PLAN
SCALE: 1" = 10'-0"



2 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



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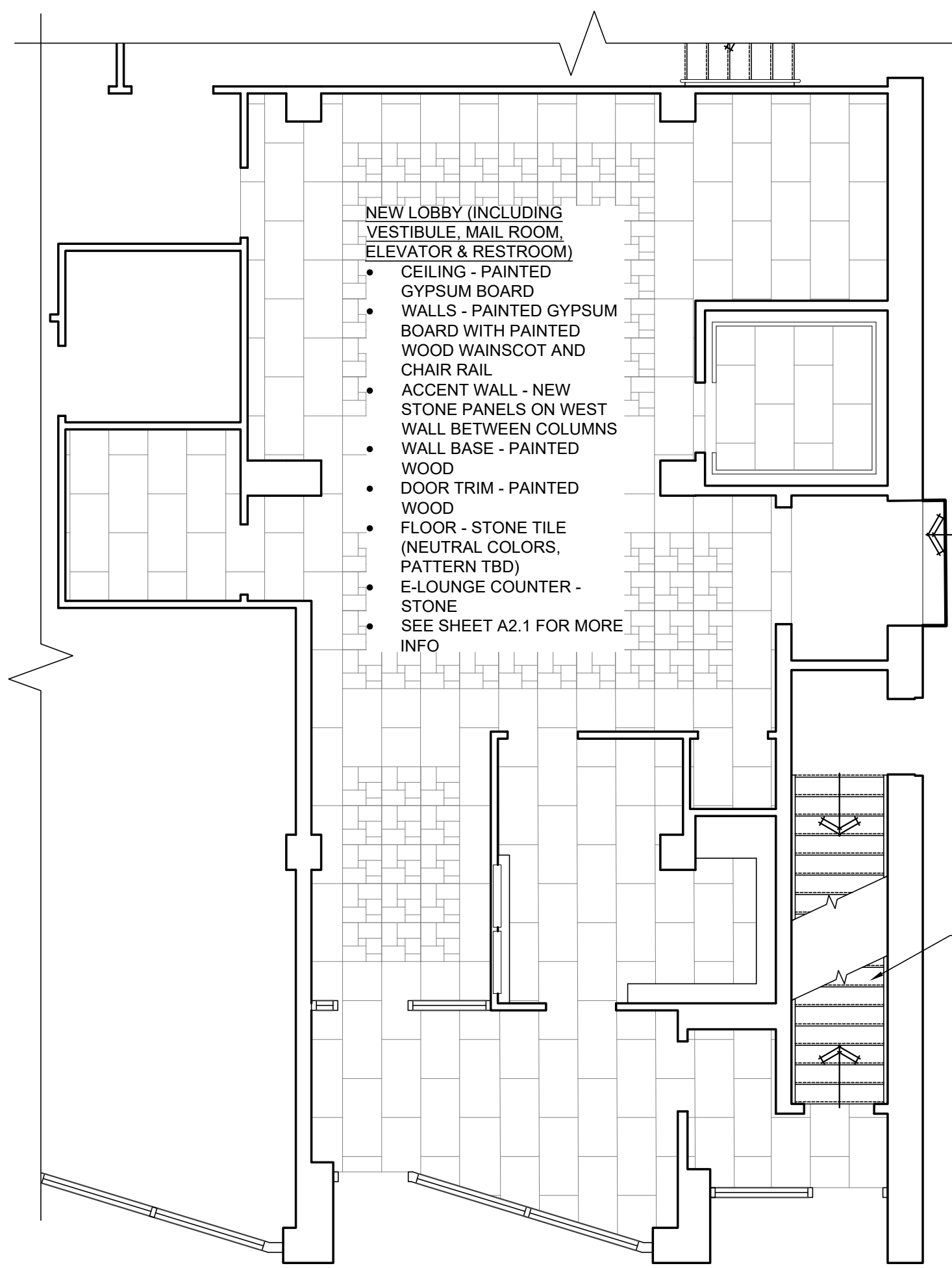
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APARTMENT CONVERSION
 40 DUPAGE COURT
 ELGIN, ILLINOIS 60120
CHICAGOLAND PROPERTIES

FOR	DATE
REVIEW	3/23/2020
REVIEW	4/6/2020
REVIEW	4/29/2020
PART 2	5/8/2020

CHECK: CW
 DRAWN: JB
 JOB: 1912876D

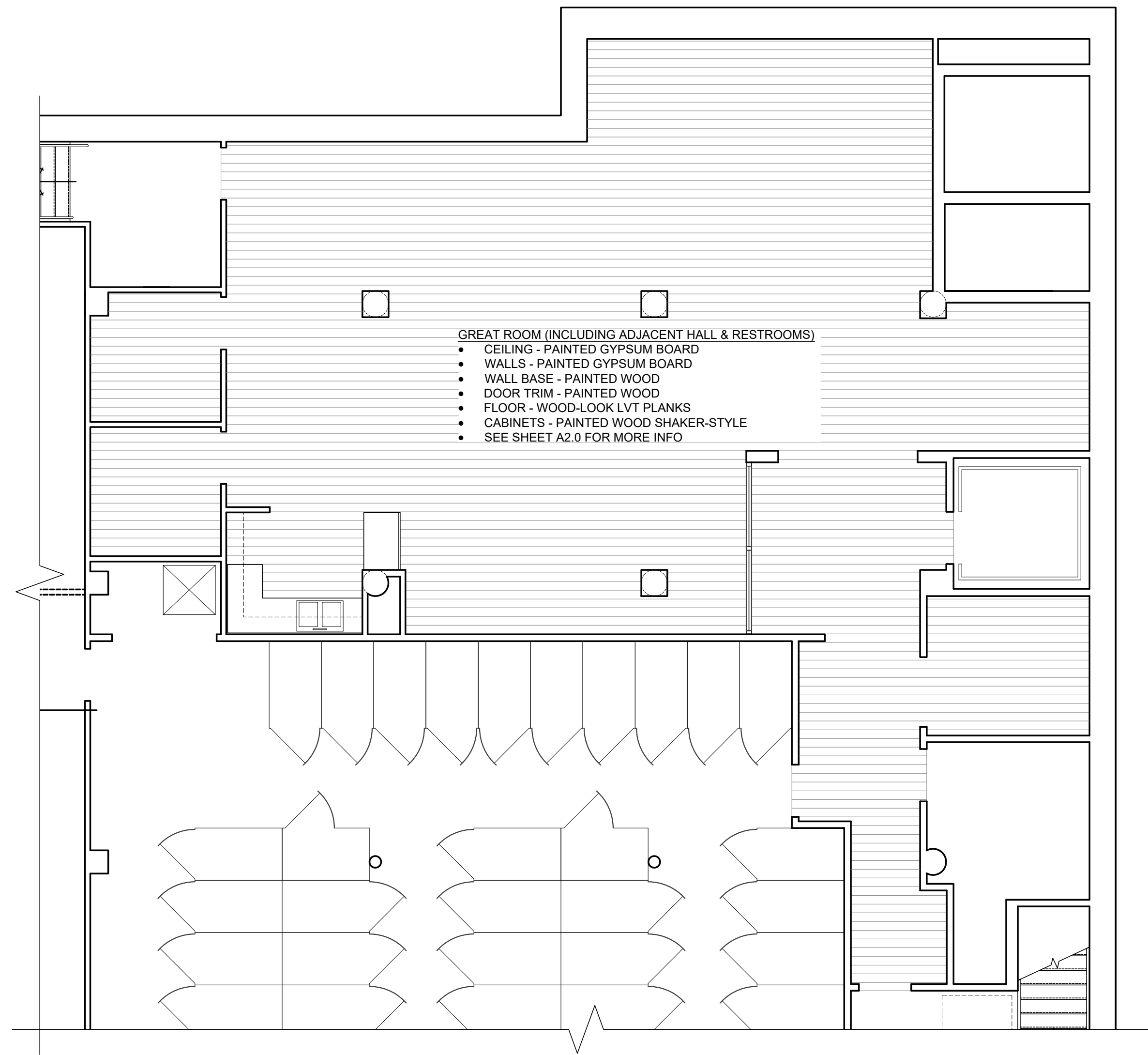
A001
 SITE PLANS



- NEW LOBBY (INCLUDING VESTIBULE, MAIL ROOM, ELEVATOR & RESTROOM)**
- CEILING - PAINTED GYPSUM BOARD
 - WALLS - PAINTED GYPSUM BOARD WITH PAINTED WOOD WAINSCOT AND CHAIR RAIL
 - ACCENT WALL - NEW STONE PANELS ON WEST WALL BETWEEN COLUMNS
 - WALL BASE - PAINTED WOOD
 - DOOR TRIM - PAINTED WOOD
 - FLOOR - STONE TILE (NEUTRAL COLORS, PATTERN TBD)
 - F.LOUNGE COUNTER - STONE
 - SEE SHEET A2.1 FOR MORE INFO

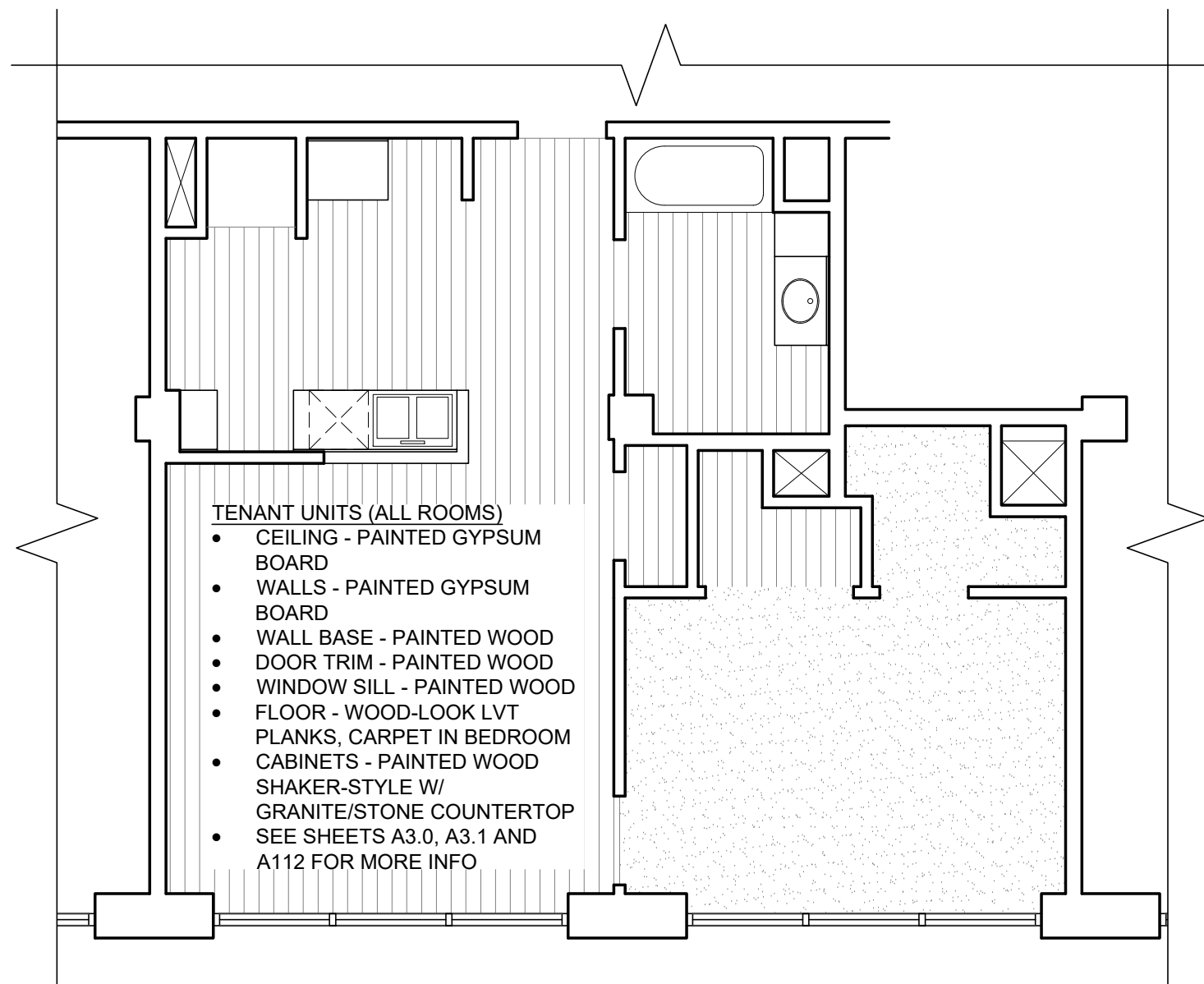
EXISTING RESILIENT TILE TO REMAIN IN STAIRWELL. MISSING OR DAMAGED PIECES TO BE REPLACED WITH COORDINATING LINOLEUM OR VINYL. EXISTING MARBLE TREADS BETWEEN 1ST AND 2ND FLOORS TO REMAIN.

1 FIRST FLOOR - NEW LOBBY
SCALE: 3/16" = 1'-0"



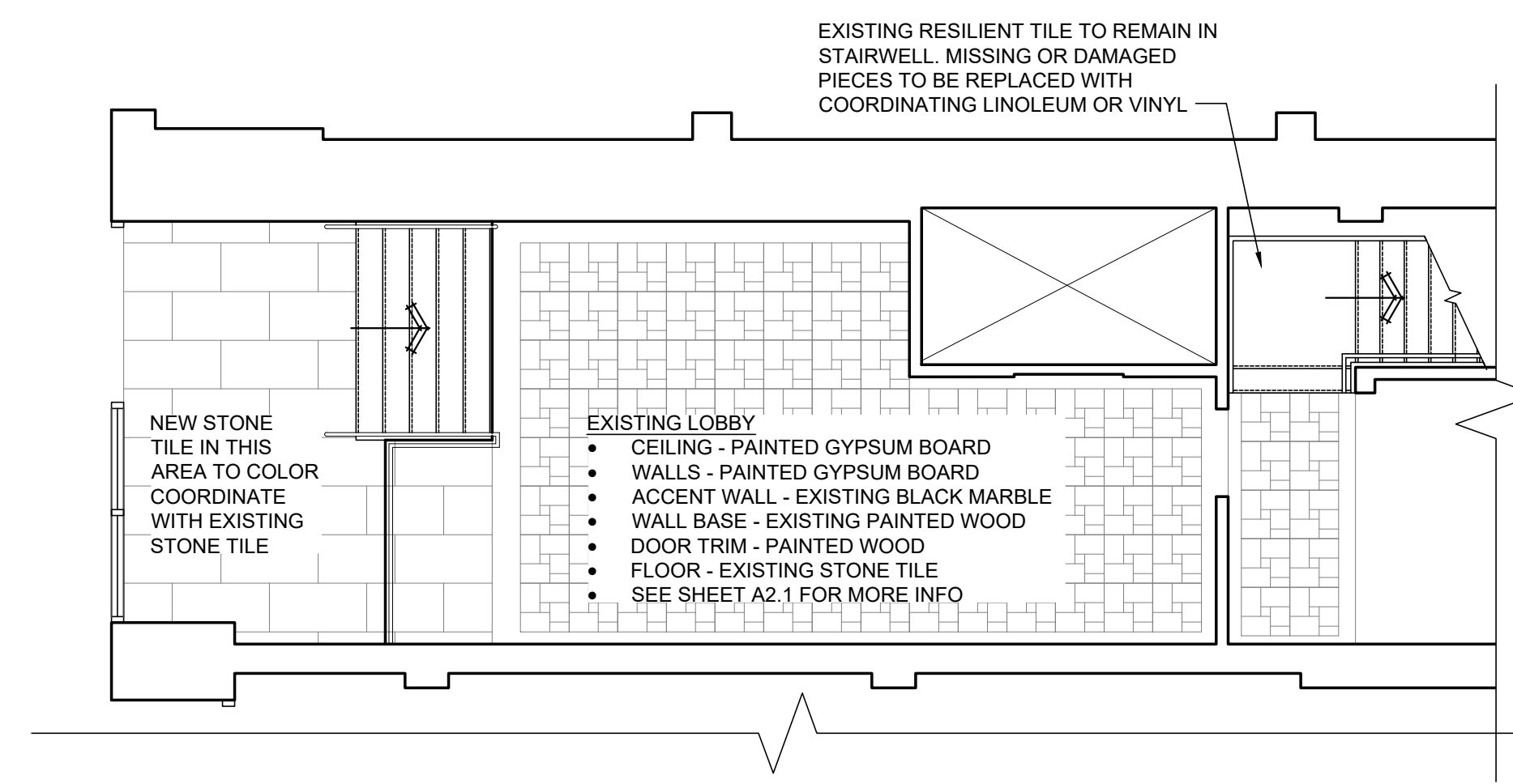
- GREAT ROOM (INCLUDING ADJACENT HALL & RESTROOMS)**
- CEILING - PAINTED GYPSUM BOARD
 - WALLS - PAINTED GYPSUM BOARD
 - WALL BASE - PAINTED WOOD
 - DOOR TRIM - PAINTED WOOD
 - FLOOR - WOOD-LOOK LVT PLANKS
 - CABINETS - PAINTED WOOD SHAKER-STYLE
 - SEE SHEET A2.0 FOR MORE INFO

2 BASEMENT - GREAT ROOM
SCALE: 3/16" = 1'-0"



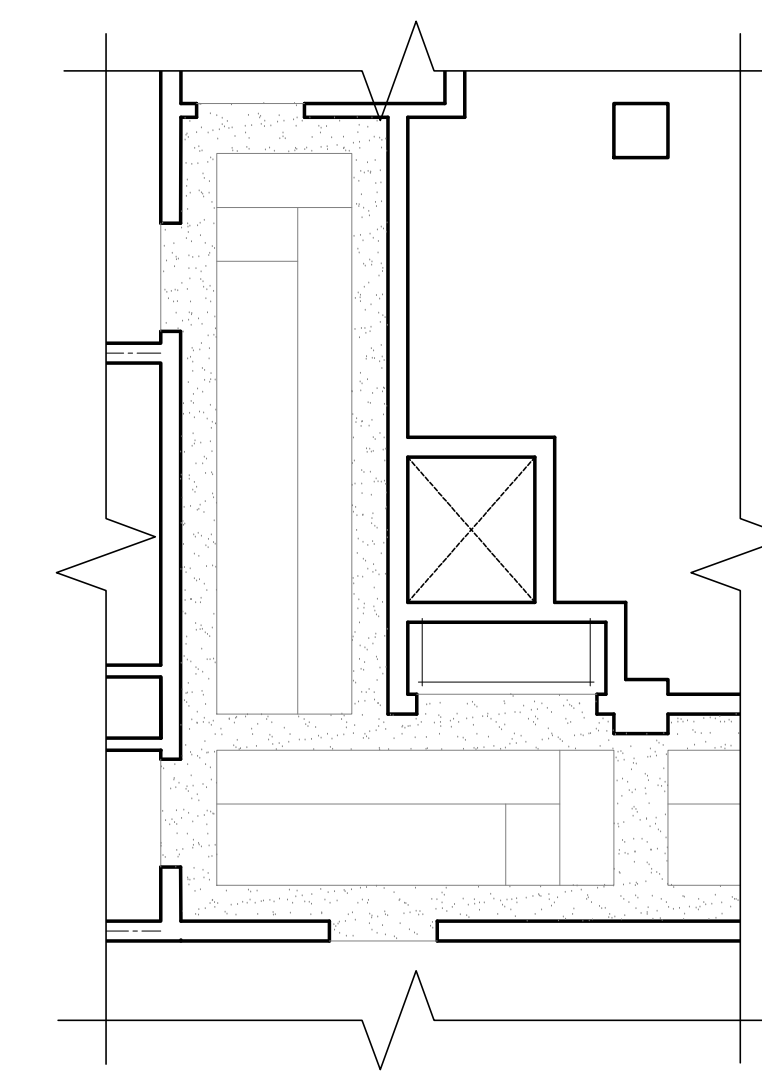
- TENANT UNITS (ALL ROOMS)**
- CEILING - PAINTED GYPSUM BOARD
 - WALLS - PAINTED GYPSUM BOARD
 - WALL BASE - PAINTED WOOD
 - DOOR TRIM - PAINTED WOOD
 - WINDOW SILL - PAINTED WOOD
 - FLOOR - WOOD-LOOK LVT PLANKS, CARPET IN BEDROOM
 - CABINETS - PAINTED WOOD SHAKER-STYLE W/ GRANITE/STONE COUNTERTOP
 - SEE SHEETS A3.0, A3.1 AND A112 FOR MORE INFO

3 FLOORS 2 THRU 5 - TENANT UNITS (TYPICAL)
SCALE: 3/16" = 1'-0"



- EXISTING LOBBY**
- CEILING - PAINTED GYPSUM BOARD
 - WALLS - PAINTED GYPSUM BOARD
 - ACCENT WALL - EXISTING BLACK MARBLE
 - WALL BASE - EXISTING PAINTED WOOD
 - DOOR TRIM - PAINTED WOOD
 - FLOOR - EXISTING STONE TILE
 - SEE SHEET A2.1 FOR MORE INFO

4 FIRST FLOOR - EXISTING LOBBY
SCALE: 3/16" = 1'-0"



- CORRIDORS (FLOORS 2-5)**
- CEILING - PAINTED GYPSUM BOARD
 - WALLS - PAINTED GYPSUM BOARD
 - WALL BASE & DOOR TRIM - PAINTED WOOD
 - FLOOR - LINOLEUM (NEUTRAL COLORS, PATTERN TBD)
 - SEE SHEETS A2.2 - A2.5 FOR MORE INFO

5 FLOORS 2 THRU 5 - CORRIDOR
SCALE: 3/16" = 1'-0"

FINISH PLAN NOTES

- SEE SHEET A112 FOR FULL FINISH SCHEDULES AND DOOR SCHEDULE

FINISH SCHEDULE					
FLOOR(S)	ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH	REMARKS
BASEMENT	NORTH STAIRS	(EXISTING TO REMAIN)	PAINT	PAINT	
BASEMENT	WEST STAIRS (NEW)	VINYL TREADS, VT1	PAINT	PAINT	
BASEMENT	RESTROOMS	LVT1	PAINT	PAINT	
BASEMENT	TENANT STORAGE	SEALED CONCRETE	PAINT	PAINT	
BASEMENT	BUILDING STORAGE & JANITOR CLOSET	SEALED CONCRETE	PAINT	PAINT	
BASEMENT	GREAT ROOM	LVT1	PAINT	PAINT	
BASEMENT	CORRIDOR	LVT1	PAINT	PAINT	
BASEMENT	VENDING	LVT1	PAINT	PAINT	
BASEMENT	UNFINISHED BASEMENT	(EXISTING TO REMAIN)	(EXISTING TO REMAIN)	(EXISTING TO REMAIN)	
BSMT - 5	ELEVATOR	ST1	PRE-FINISHED PANELS	PRE-FINISHED PANELS	(SEE #1 BELOW)
1	NORTH STAIRS	(EXISTING TO REMAIN)	PAINT	PAINT	
1	WEST STAIRS	(EXISTING TO REMAIN)	PAINT	PAINT	
1	SOUTH VESTIBULE	ST1, (EXISTING TO REMAIN)	(EXISTING TO REMAIN)	PAINT	(SEE #2 BELOW)
1	SOUTH LOBBY	(EXISTING TO REMAIN)	(EXISTING TO REMAIN)	PAINT	
1	NORTH VESTIBULE	ST1	PAINT	PAINT	
1	NORTH LOBBY & LOUNGE	ST1, ST2, ST3, ST4	PAINT	ST2, PAINT	
1	LOBBY RESTROOM	ST1	PAINT	PAINT	
1	LOBBY CLOSET	SEALED CONCRETE	PAINT	PAINT	
1	MAIL ROOM	ST1	PAINT	PAINT	
1	BIKE STORAGE	SEALED CONCRETE	PAINT	PAINT	
1	BUILDING MAINTENANCE	SEALED CONCRETE	PAINT	PAINT	
1	BACK HALL	SEALED CONCRETE	PAINT	PAINT	
1	RETAIL 1 & 2	UNFINISHED CONCRETE	PRIMED	PRIMED	(SEE #3 BELOW)
1	RETAIL 1 & 2 - RESTROOMS	UNFINISHED CONCRETE	PRIMED	PRIMED	
1	RESTAURANT	UNFINISHED CONCRETE	PRIMED	PRIMED	
2-5	NORTH STAIRS	VT1, (EXISTING TO REMAIN)	PAINT	PAINT	
2-5	WEST STAIRS	VT1, (EXISTING TO REMAIN)	PAINT	PAINT	
2-5	TRASH ROOM	L1	PAINT	PAINT	
2-5	ELECTRICAL CLOSET	SEALED CONCRETE	PAINT	PAINT	
2-5	CORRIDOR	L1, L2, L3, L4	PAINT	PAINT	
2-5	TENANT UNIT - FOYER	LVT1	PAINT	PAINT	
2-5	TENANT UNIT - LIVE/DINE	LVT1	PAINT	PAINT	
2-5	TENANT UNIT - KITCHEN	LVT1	PAINT	PAINT	
2-5	TENANT UNIT - BATH	LVT1	PAINT	PAINT	
2-5	TENANT UNIT - BEDROOM	CPT1	PAINT	PAINT	
2-5	TENANT UNIT - BEDROOM CLOSET	CPT1	PAINT	PAINT	
2-5	TENANT UNIT - FURNACE CLOSET	SEALED CONCRETE	PAINT	PAINT	
2-5	TENANT UNIT - OTHER CLOSET	LVT1	PAINT	PAINT	

GENERAL FINISH NOTES:

- REFER TO FINISH LEGEND FOR MORE INFORMATION ON INTERIOR FINISHES
- ALL MATERIALS USED FOR INTERIOR WALL & CEILING FINISHES TO BE CLASS C (FLAME SPREAD RATING OF 76-200, SMOKE DEVELOPED OF 0-450)
- ALL NEW WALLS TO BE GYPSUM BOARD OR WATER RESISTANT GYPSUM BOARD. CEMENT BOARD TO BE USED IN SHOWER AREAS
- ALL EXISTING CEILING WILL BE FURRED OUT WITH METAL STUDS AND GYPSUM BOARD TO COVER DETERIORATED CONDITIONS

FINISH SCHEDULE REMARKS:

- WALL & CEILING PANELS PROVIDED BY ELEVATOR MFR
- EXISTING TILE AND TERRAZZO TO REMAIN. EXISTING CARET TO BE REMOVED. NEW STONE TILE (ST1) TO REPLACE CARPET
- FUTURE TENANT TO CHOOSE FINISHES

FINISH LEGEND					
TAG	DESCRIPTION	MANUFACTURER	PRODUCT # / COLOR	SIZE	NOTES
CPT1	CARPET	MOHAWK	EXQUISITE SHADES "UPTOWN TAUPE"	BROADLOOM	(OR SIMILAR PRODUCT)
L1	LINOLEUM	FORBO	MARMOLEUM - FRESCO "SILVER SHADOW"	VARIES (SHEET OR TILE)	(OR SIMILAR PRODUCT)
L2	LINOLEUM	FORBO	MARMOLEUM - FRESCO "MOONSTONE"	VARIES (SHEET OR TILE)	(OR SIMILAR PRODUCT)
L3	LINOLEUM	FORBO	MARMOLEUM - FRESCO "EDELWEISS"	VARIES (SHEET OR TILE)	(OR SIMILAR PRODUCT)
L4	LINOLEUM	FORBO	MARMOLEUM - CONCRETE "SATELLITE"	VARIES (SHEET OR TILE)	(OR SIMILAR PRODUCT)
LVT1	LUXURY VINYL TILE	MANNINGTON	ADURA FLEX PLANK - SUNDANCE "GUNSTOCK"	6 X 48	(OR SIMILAR PRODUCT)
ST1	STONE TILE	AMERICAN OLEAN	MARBLE - "BOTTICINO FIORITO M704" POLISHED	VARIES	(OR SIMILAR PRODUCT)
ST2	STONE TILE	AMERICAN OLEAN	MARBLE - "CALACATTA GOLD M475" POLISHED	VARIES	(OR SIMILAR PRODUCT)
ST3	STONE TILE	AMERICAN OLEAN	MARBLE - "CREMA MARFIL CLASSICO M722" POLISHED	VARIES	(OR SIMILAR PRODUCT)
ST4	STONE TILE	AMERICAN OLEAN	MARBLE - "EMPERADOR DARK M725" POLISHED	VARIES	(OR SIMILAR PRODUCT)
VT1	VINYL/LINOLEUM TILE	TBD	(COLOR TO MATCH EXISTING RESILIENT TILE IN STAIRWELLS)	TBD	-

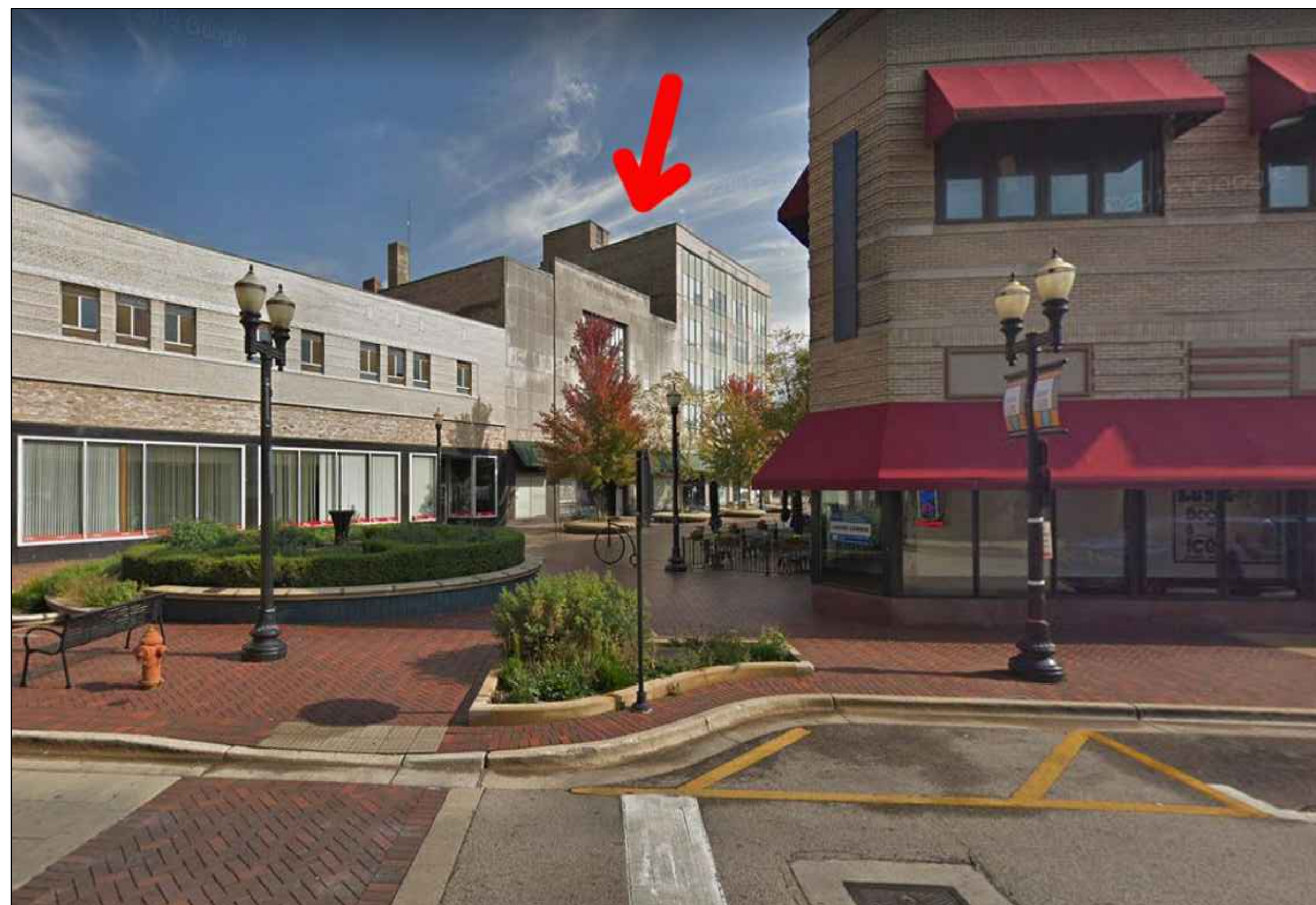
DOOR SCHEDULE					
FLOOR(S)	DOOR LOCATION	DOOR MATERIAL & FINISH	FRAME MATERIAL & FINISH	FIRE RATED	COMMENTS
BASEMENT	STAIRS	HOLLOW METAL PAINTED	METAL PAINTED	YES	FLUSH
BASEMENT	RESTROOMS	WOOD PAINTED	WOOD PAINTED		FLUSH
BASEMENT	TENANT STORAGE	HOLLOW METAL PAINTED	METAL PAINTED		FLUSH
BASEMENT	BUILDING STORAGE & MAINTENANCE AREAS	HOLLOW METAL PAINTED	METAL PAINTED		FLUSH
1	EXISTING EXTERIOR GLAZED DOORS	(EXISTING TO REMAIN)	(EXISTING TO REMAIN)		-
1	EXTERIOR DOOR TO BASEMENT STAIRS	HOLLOW METAL PAINTED	METAL PAINTED		INSULATED, FLUSH
1	EXTERIOR DOOR FOR MOVE-INS	PAINTED METAL ROLL-UP/COLLING	-		-
1	EXTERIOR DOOR FOR TRASH AREA EXIT	HOLLOW METAL PAINTED	METAL PAINTED		INSULATED, FLUSH
1	EXTERIOR DOOR FOR DUMSTER	PAINTED METAL ROLL-UP /COLLING/OVERHEAD	-		-
1	LOBBY AT VESTIBULE	GLAZED	ALUMINUM		-
1	STAIRS AT VESTIBULE	HOLLOW METAL PAINTED	METAL PAINTED W/ WOOD TRIM	YES	FLUSH
1	MAIL ROOM (X2)	GLAZED	ALUMINUM		-
1	LOBBY FURNACE CLOSET	WOOD PAINTED	WOOD PAINTED		FLUSH
1	LOBBY RESTROOM	WOOD PAINTED	WOOD PAINTED		FLUSH
1	BACK DOOR RETAIL (X2)	HOLLOW METAL PAINTED	METAL PAINTED		FLUSH
1	BACK DOOR RESTAURANT	HOLLOW METAL PAINTED	METAL PAINTED		FLUSH
1	BIKE ROOM BACK DOOR	HOLLOW METAL PAINTED	METAL PAINTED		FLUSH
1	STAIRS AT EXISTING LOBBY	HOLLOW METAL PAINTED	PAINTED W/ WOOD TRIM	YES	FLUSH
2-5	STAIRS	HOLLOW METAL PAINTED	METAL PAINTED	YES	FLUSH
2-5	TRASH CHUTE	HOLLOW METAL PAINTED	METAL PAINTED	YES	FLUSH
2-5	ELECTRICAL CLOSET	HOLLOW METAL PAINTED	METAL PAINTED	YES	FLUSH
2-5	TENANT DOORS AT CORRIDOR	HOLLOW METAL PAINTED	PAINTED W/ WOOD TRIM	YES	INSULATED, FLUSH
2-5	DOORS IN TENANT INTERIORS	WOOD PAINTED	WOOD PAINTED		FLUSH
ROOF	ELEVATOR PENTHOUSE	HOLLOW METAL PAINTED	METAL PAINTED		INSULATED, FLUSH
ROOF	MAINTENANCE PENTHOUSE	HOLLOW METAL PAINTED	METAL PAINTED		INSULATED, FLUSH



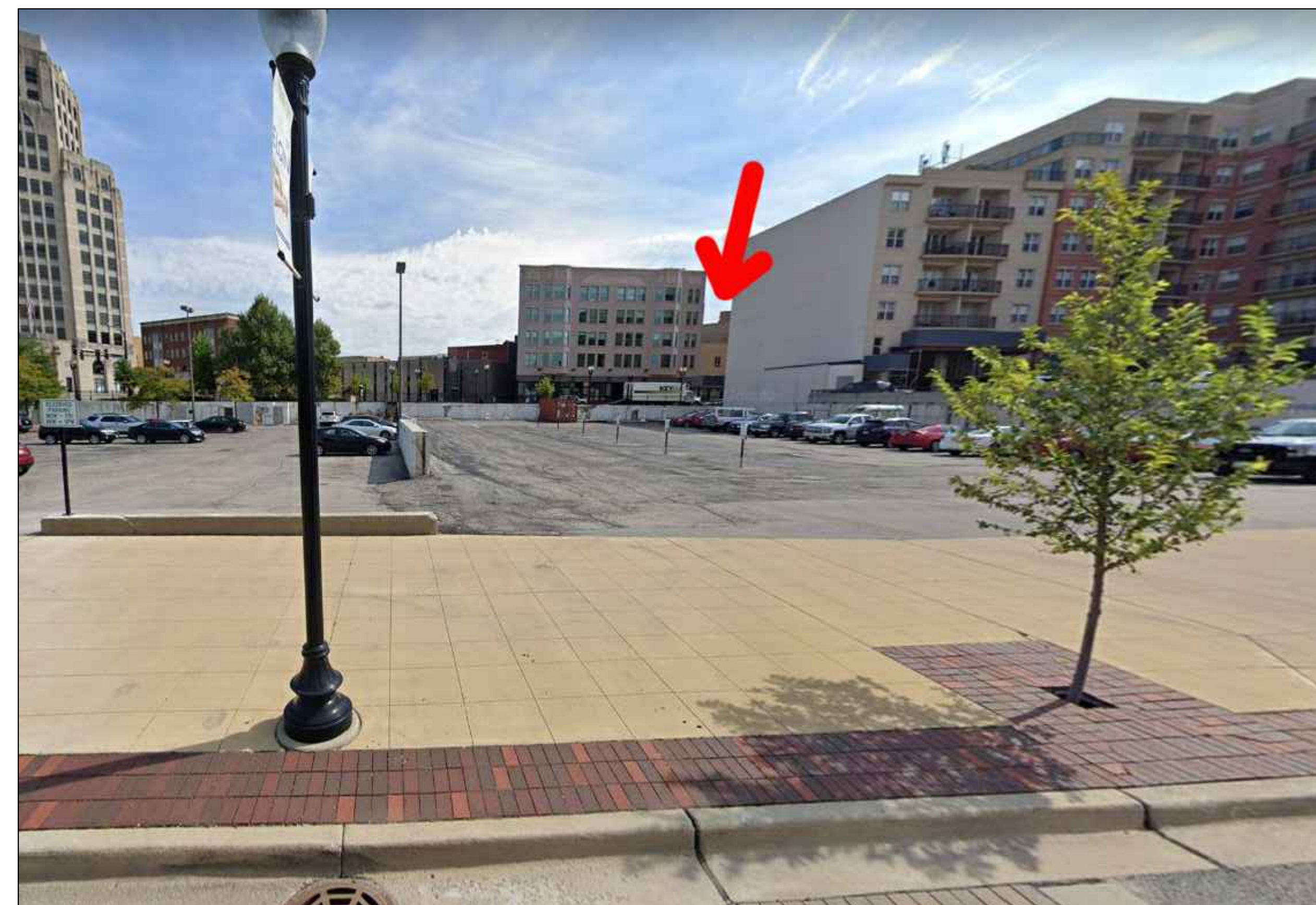
LOCATION MAP
SCALE: NOT TO SCALE

VIEWPOINT LEGEND				
PIN #	LOCATION	ELEVATION	DISTANCE FROM SUBJECT BUILDING	DIRECTION FROM SUBJECT
N/A	SUBJECT PROPERTY	714' (718' AT NEC)	N/A	N/A
1	DUPAGE & GROVE	713'	151'	WEST
2	DUPAGE & RIVERWALK	708'	472'	WEST
3	SPRING & GROVE	711'	382'	SOUTH
4	GROVE & PRAIRIE	709'	729'	SOUTH
5	DUPAGE & VILLA	742'	460'	EAST
6	DUPAGE & GENEVA	744'	844'	EAST
7	SPRING & CHICAGO	725'	209'	NORTH
8	SPRING & HIGHLAND	737'	527'	NORTH
9	ADJACENT PROPERTY ACROSS SPRING STREET	714'	66'	EAST
10	ADJACENT PROPERTY ACROSS DUPAGE COURT	714'	66'	SOUTH

NOTES
• ALL ELEVATIONS AND DISTANCES ON THIS CHART WERE TAKEN FROM GOOGLE EARTH SOFTWARE



1 VIEW FROM #1 (ROOFTOP EQUIPMENT NOT VISIBLE)
SCALE: NOT TO SCALE



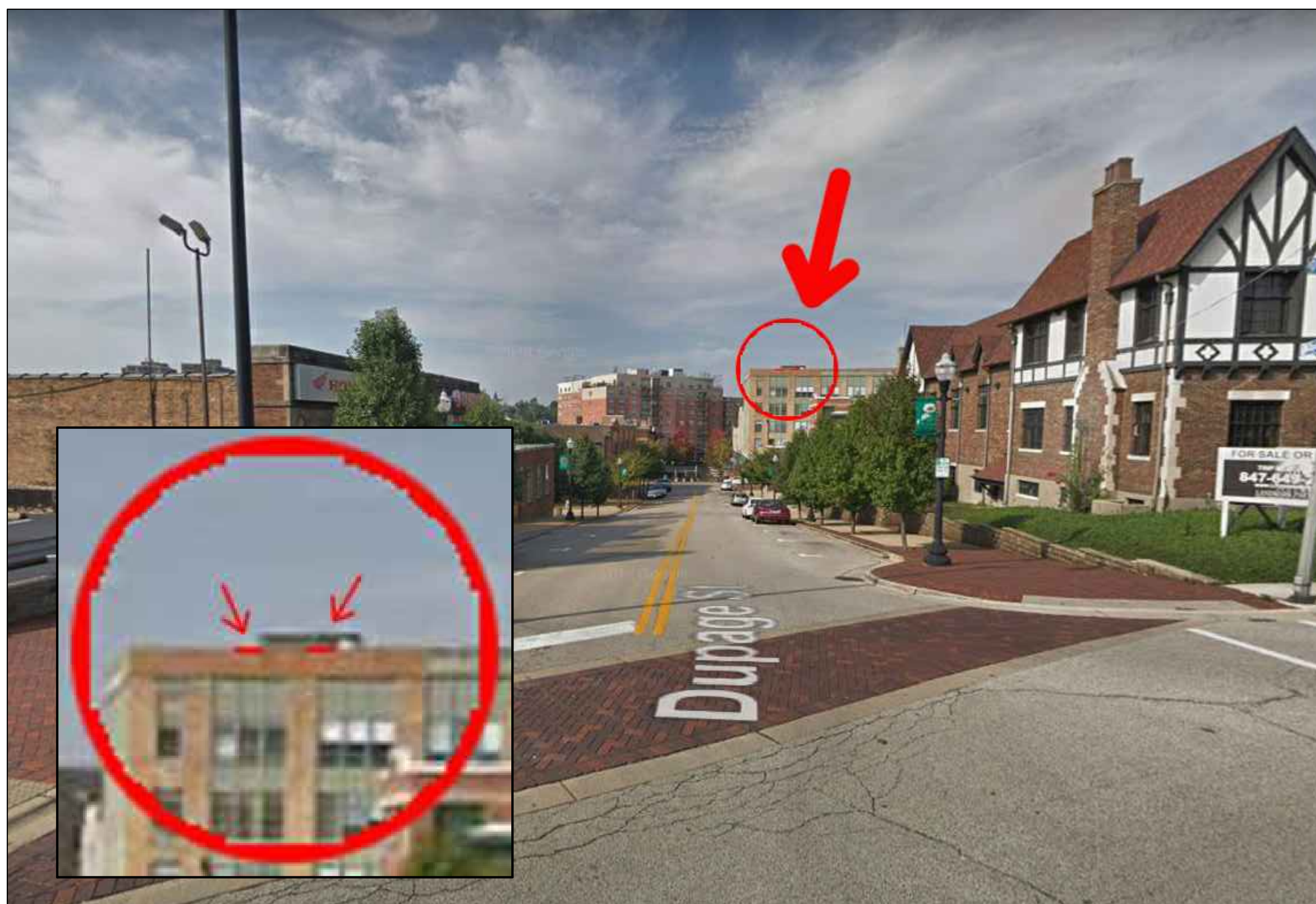
2 VIEW FROM #2 (ROOFTOP EQUIPMENT NOT VISIBLE - BLOCKED BY PENTHOUSE)
SCALE: NOT TO SCALE



3 VIEW FROM #3 (SUBJECT BUILDING NOT VISIBLE - BLOCKED BY BUILDINGS & TREES)
SCALE: NOT TO SCALE



4 VIEW FROM #4 (SUBJECT BUILDING NOT VISIBLE - BLOCKED BY BUILDINGS & TREES)
SCALE: NOT TO SCALE



5 VIEW FROM #5
SCALE: NOT TO SCALE

NOTE: THE TOP 5" OF THE (2) LARGE HVAC UNITS IS VISIBLE. (THESE UNITS ARE APPROX. 60" TALL.) THE TOP 3" OF THE (2) MAKE-UP AIR UNITS IS VISIBLE. (THESE UNITS ARE APPROX. 48" TALL.) THE MAKE-UP AIR UNITS ARE IN FRONT OF THE HVAC UNITS FROM THIS VIEW, SO IT APPEARS YOU ARE SEEING (2) UNITS INSTEAD OF (4). ALL OTHER ROOFTOP EQUIPMENT ARE BLOCKED BY THE PARAPET.



6 VIEW FROM #6
SCALE: NOT TO SCALE

NOTE: THE TOP 27" OF THE (2) LARGE HVAC UNITS IS VISIBLE. (THESE UNITS ARE APPROX. 60" TALL.) THE TOP 20" OF THE (2) MAKE-UP AIR UNITS IS VISIBLE. (THESE UNITS ARE APPROX. 48" TALL.) THE MAKE-UP AIR UNITS ARE IN FRONT OF THE HVAC UNITS FROM THIS VIEW, SO IT APPEARS YOU ARE SEEING (2) UNITS INSTEAD OF (4). THE CONDENSERS ARE NOT VISIBLE BECAUSE THE VIEW IS BLOCKED BY NEARBY BUILDINGS. ALL OTHER ROOFTOP EQUIPMENT ARE BLOCKED BY THE PARAPET.

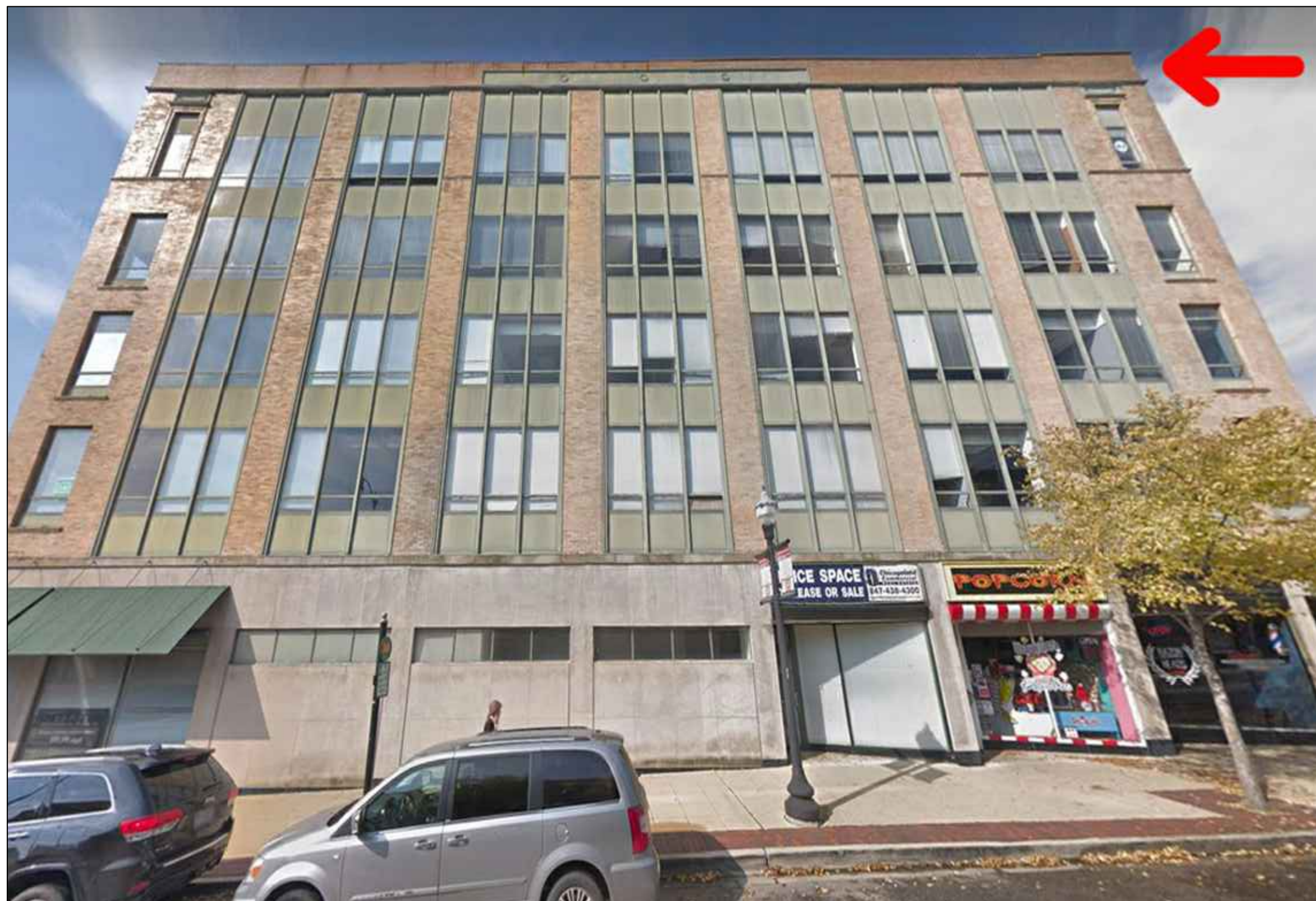


7 VIEW FROM #7 (ROOFTOP EQUIPMENT NOT VISIBLE - BLOCKED BY PARAPET)
SCALE: NOT TO SCALE

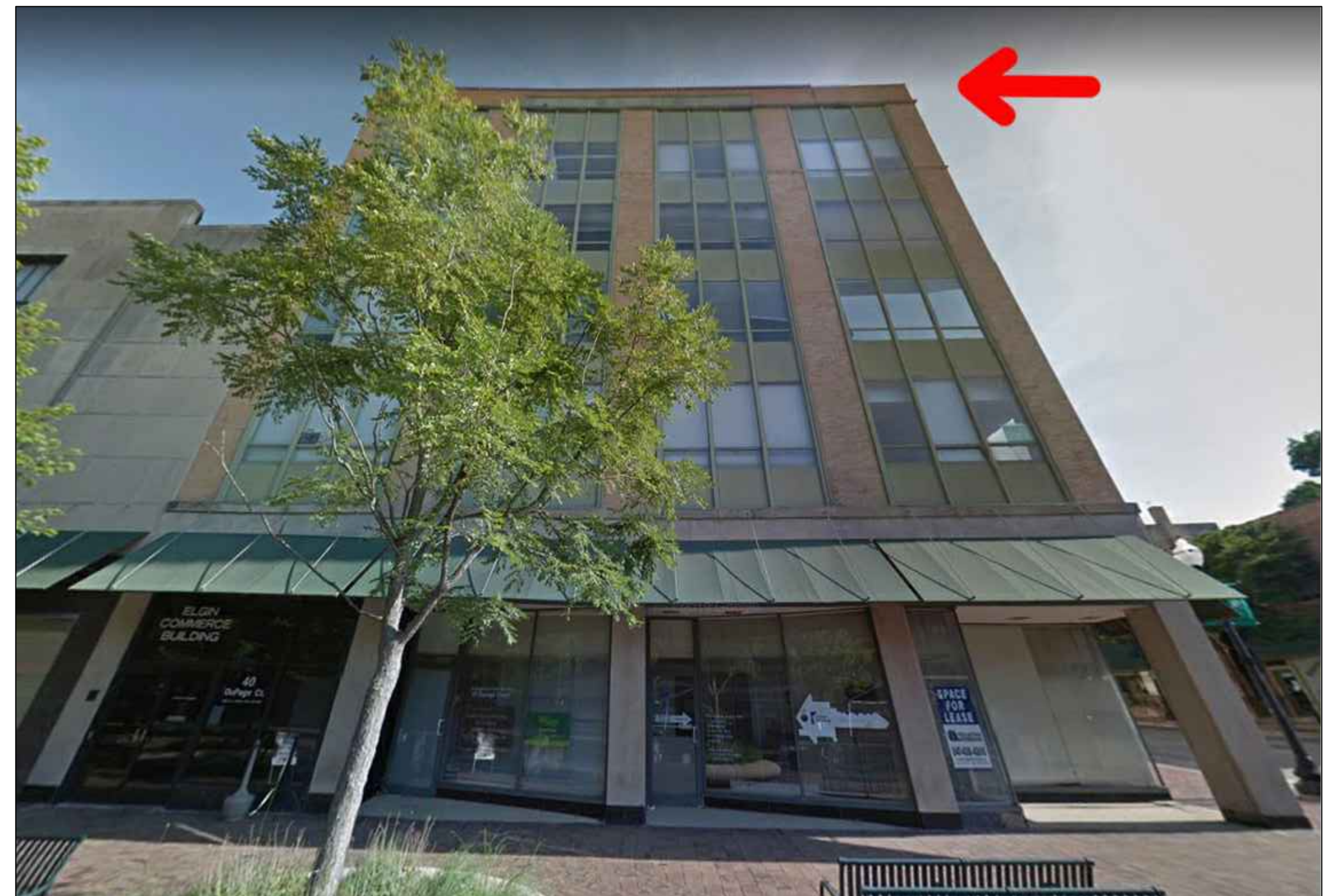


NOTE: THE TOP 10" OF THE (2) NORTHERNMOST CONDENSERS IS VISIBLE. (THE UNITS ARE APPROX. 36" TALL.) THE VIEW OF THE OTHER NORTHERN CONDENSERS IS BLOCKED BY THE PENTHOUSE. ALL OTHER ROOFTOP EQUIPMENT ARE BLOCKED BY THE PENTHOUSE OR PARAPET.

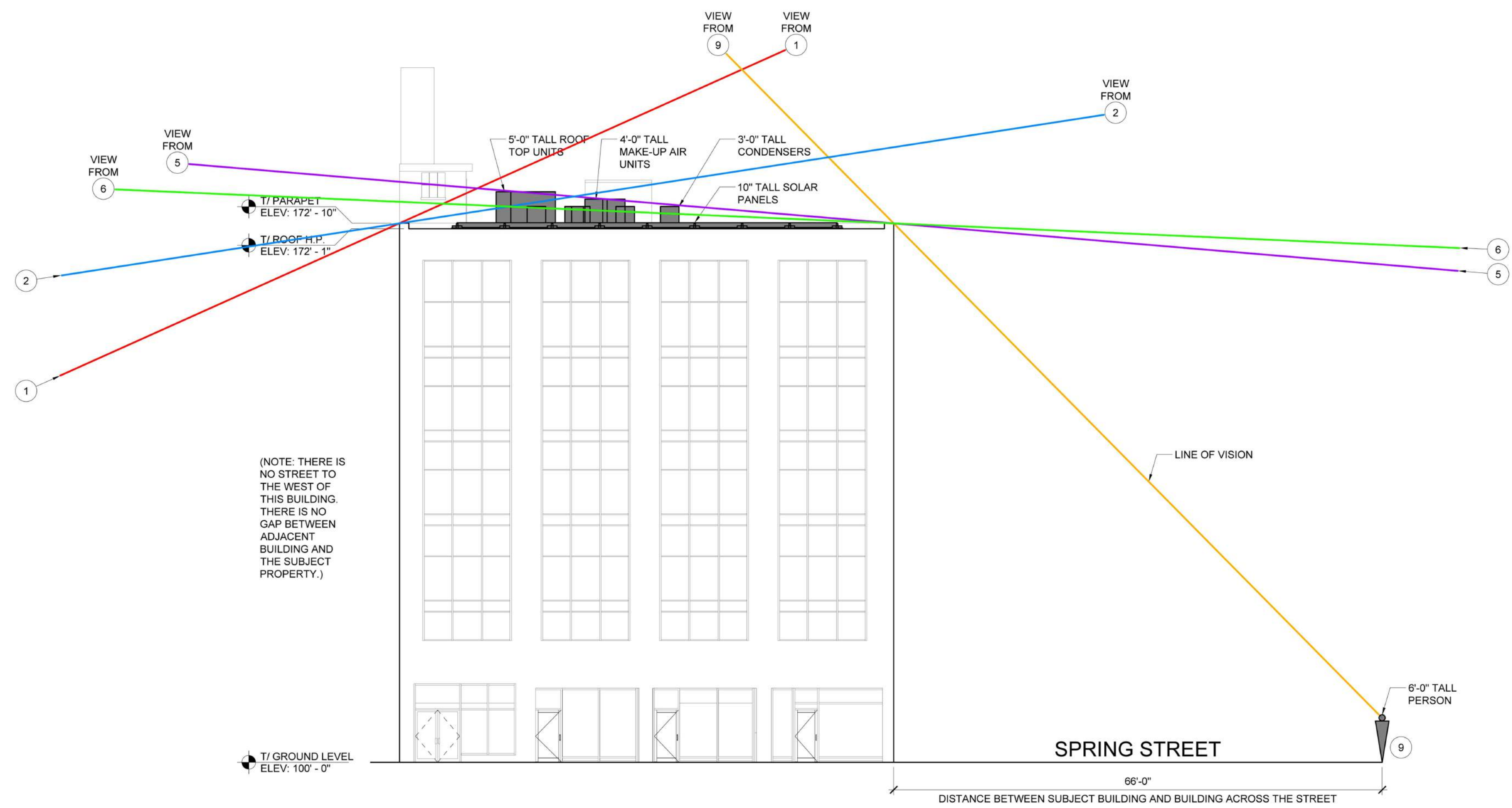
8 VIEW FROM #8
SCALE: NOT TO SCALE



9 VIEW FROM #9 (ROOFTOP EQUIPMENT NOT VISIBLE - BLOCKED BY PARAPET)
SCALE: NOT TO SCALE



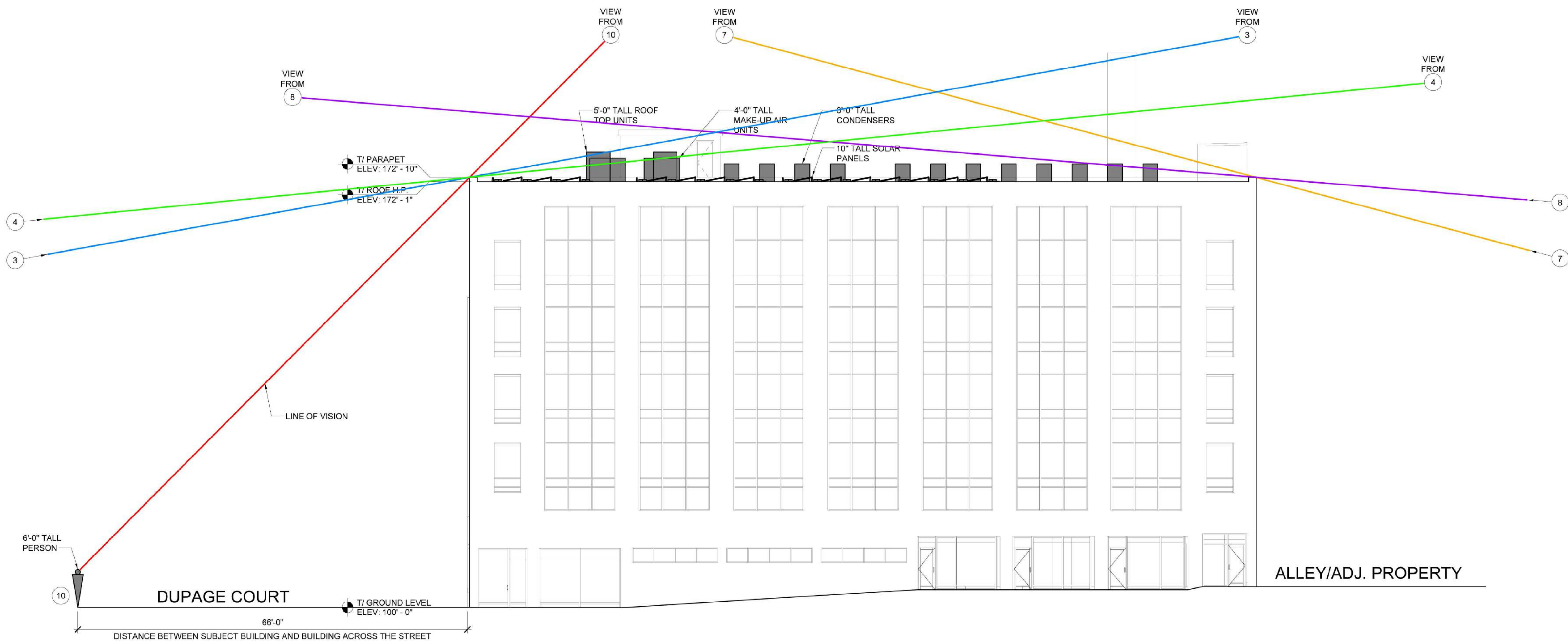
10 VIEW FROM #10 (ROOFTOP EQUIPMENT NOT VISIBLE - BLOCKED BY PARAPET)
SCALE: NOT TO SCALE



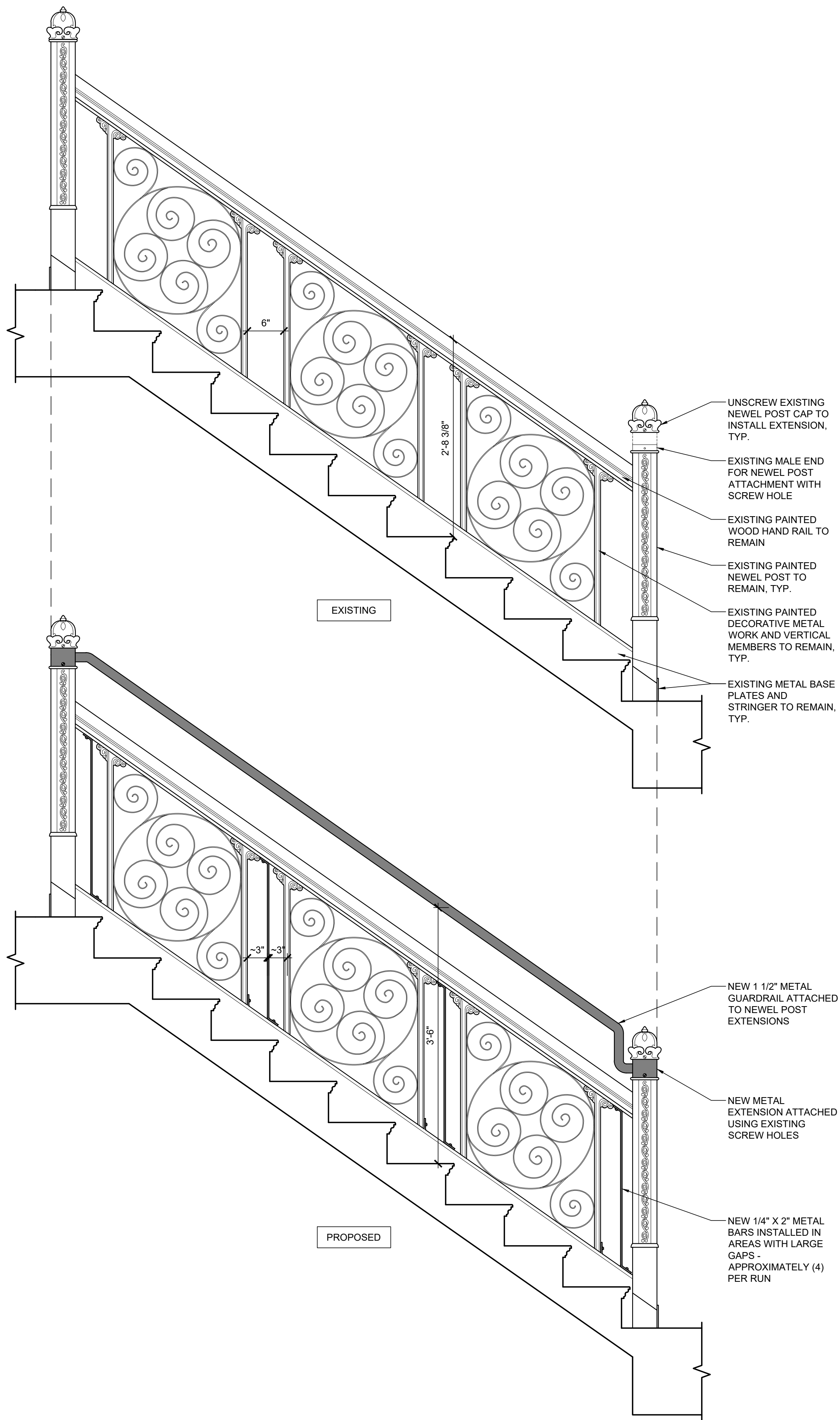
VIEWPOINT LEGEND				
PIN #	LOCATION	ELEVATION	DISTANCE FROM SUBJECT BUILDING	DIRECTION FROM SUBJECT
N/A	SUBJECT PROPERTY	714' (718' AT NEC)	N/A	N/A
1	DUPAGE & GROVE	713'	151'	WEST
2	DUPAGE & RIVERWALK	708'	472'	WEST
3	SPRING & GROVE	711'	382'	SOUTH
4	GROVE & PRAIRIE	709'	729'	SOUTH
5	DUPAGE & VILLA	742'	460'	EAST
6	DUPAGE & GENEVA	744'	844'	EAST
7	SPRING & CHICAGO	725'	209'	NORTH
8	SPRING & HIGHLAND	737'	527'	NORTH
9	ADJACENT PROPERTY ACROSS SPRING STREET	714'	66'	EAST
10	ADJACENT PROPERTY ACROSS DUPAGE COURT	714'	66'	SOUTH

NOTES
• ALL ELEVATIONS AND DISTANCES ON THIS CHART WERE TAKEN FROM GOOGLE EARTH SOFTWARE

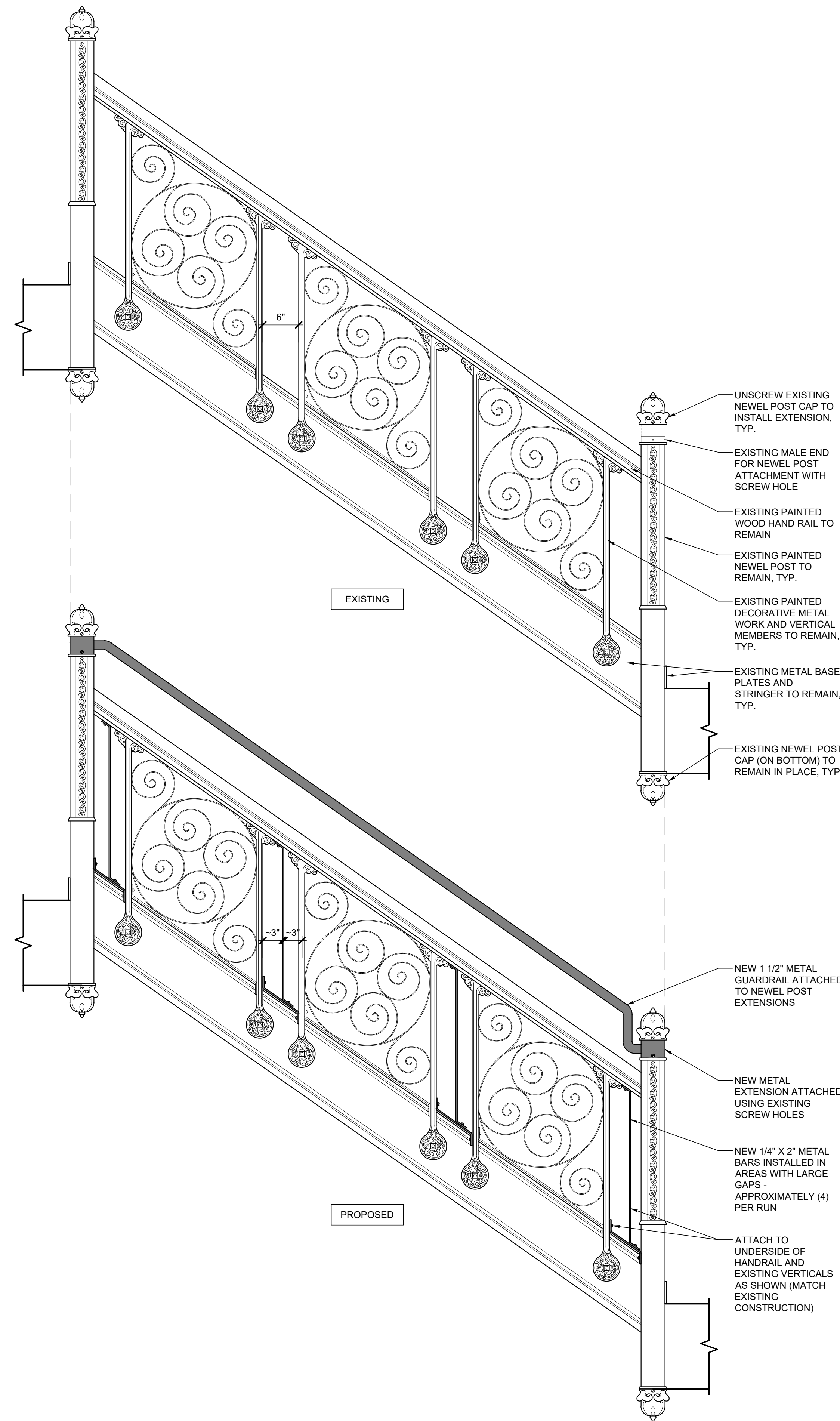
1 ROOFTOP VISIBILITY STUDY- FROM EAST
SCALE: 3/32" = 1'-0"



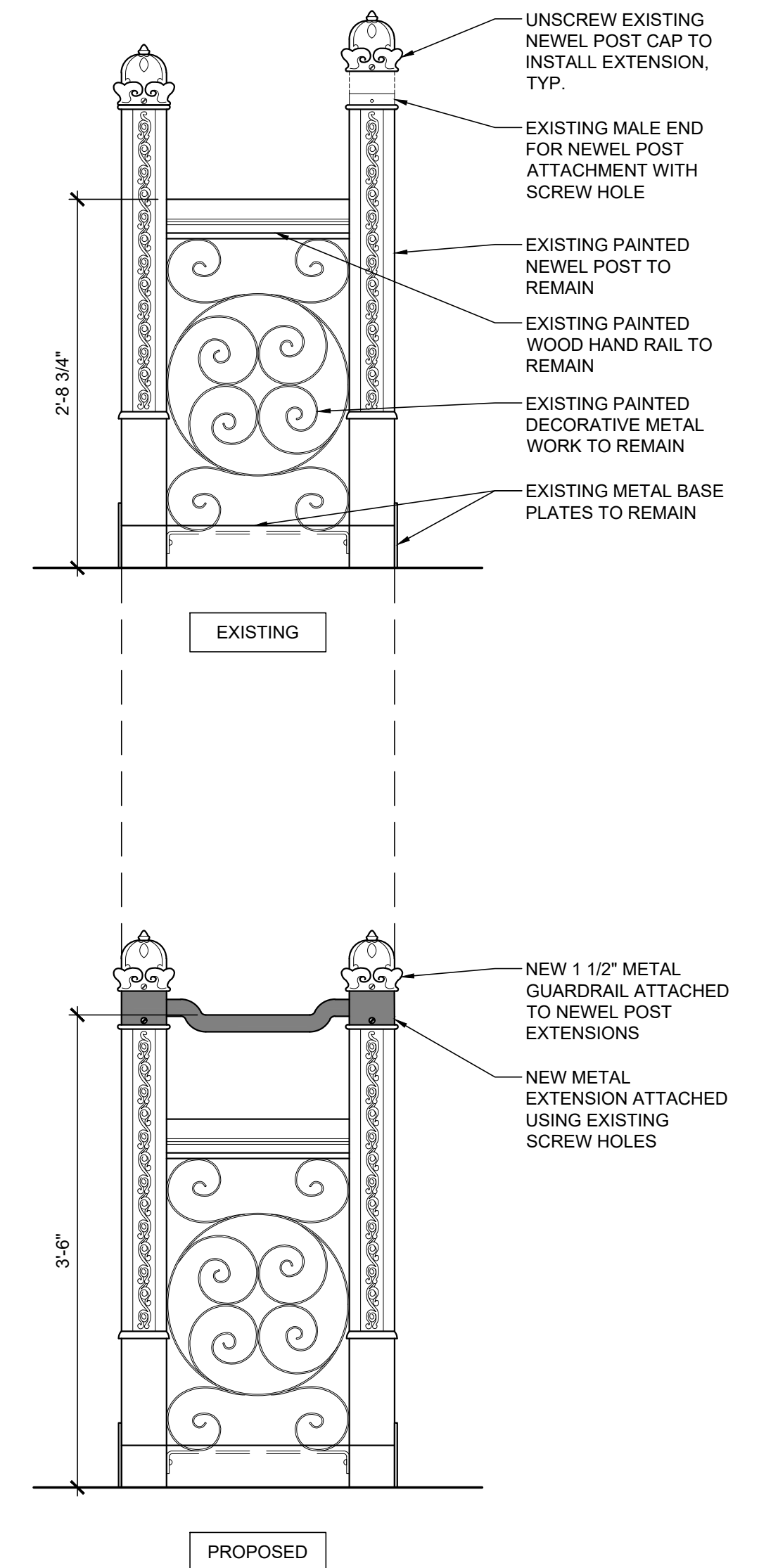
2 ROOFTOP VISIBILITY STUDY- FROM SOUTH AND NORTH
SCALE: 3/32" = 1'-0"



1 TYPICAL RAILING ELEVATION - STAIR SIDE (NORTH AND WEST STAIRWELLS)
SCALE: 1" = 1'-0"



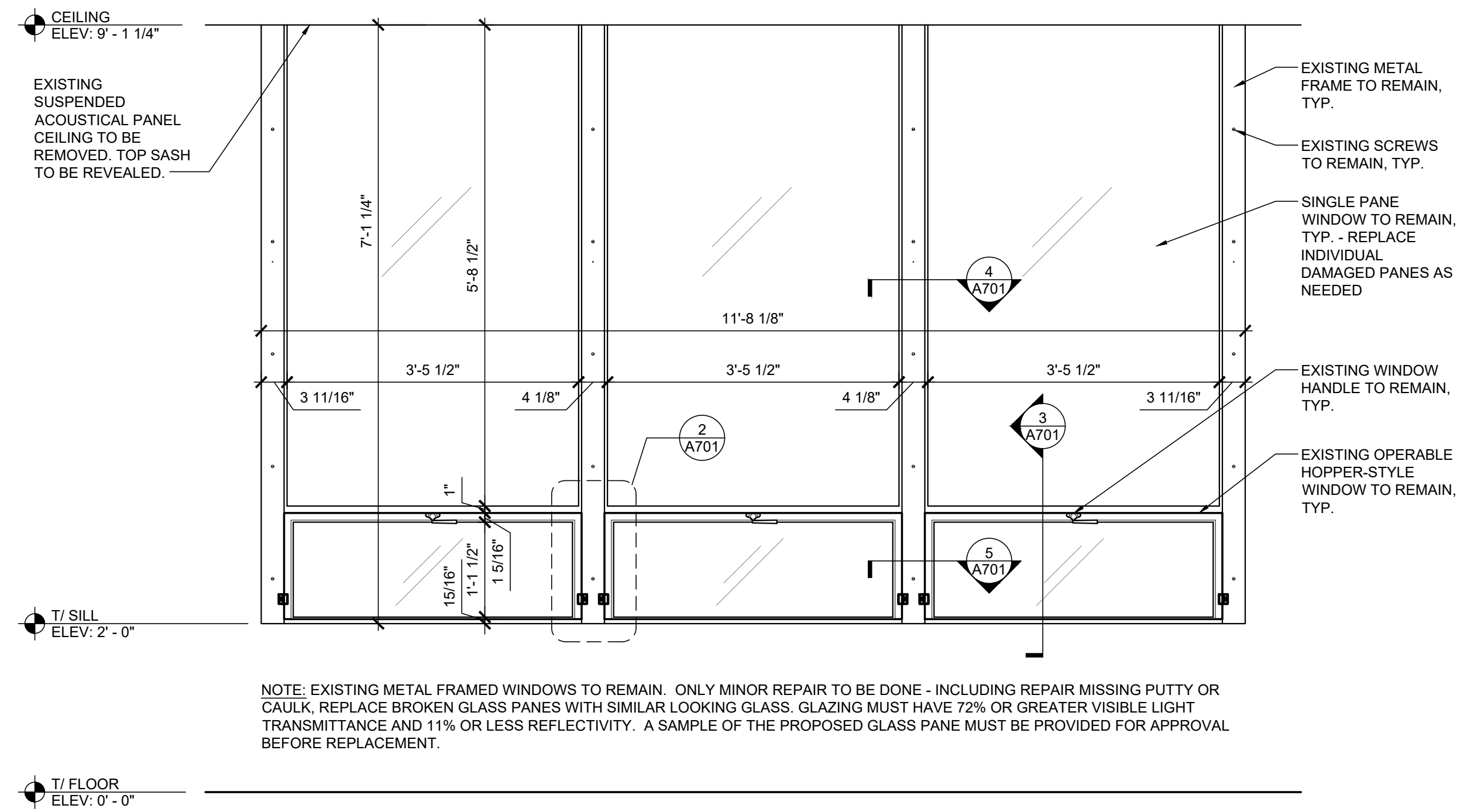
2 TYPICAL RAILING ELEVATION - OPEN SIDE (NORTH AND WEST STAIRWELLS)
SCALE: 1" = 1'-0"



3 RAILING ELEVATION AT LANDING
SCALE: 1" = 1'-0"

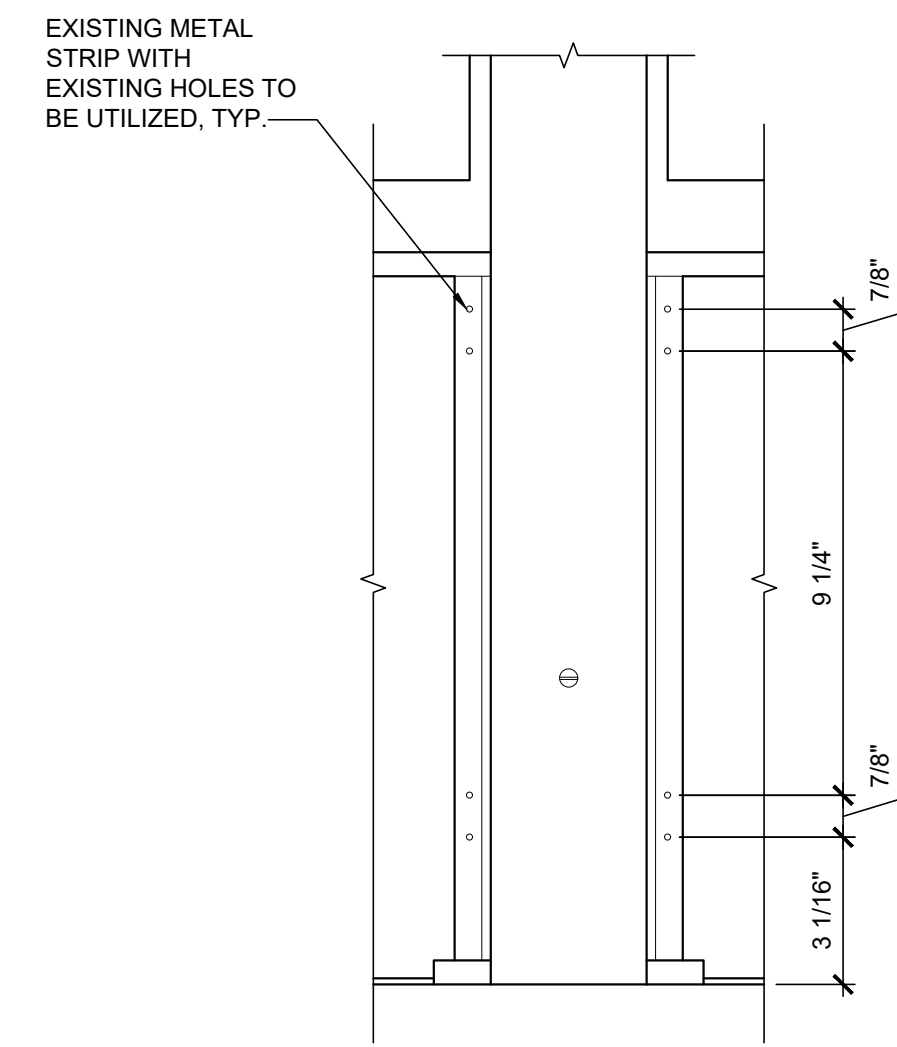
ISSUE

FOR	DATE
REVIEW	3/23/2020
REVIEW	4/6/2020
REVIEW	4/29/2020
PART 2	5/8/2020

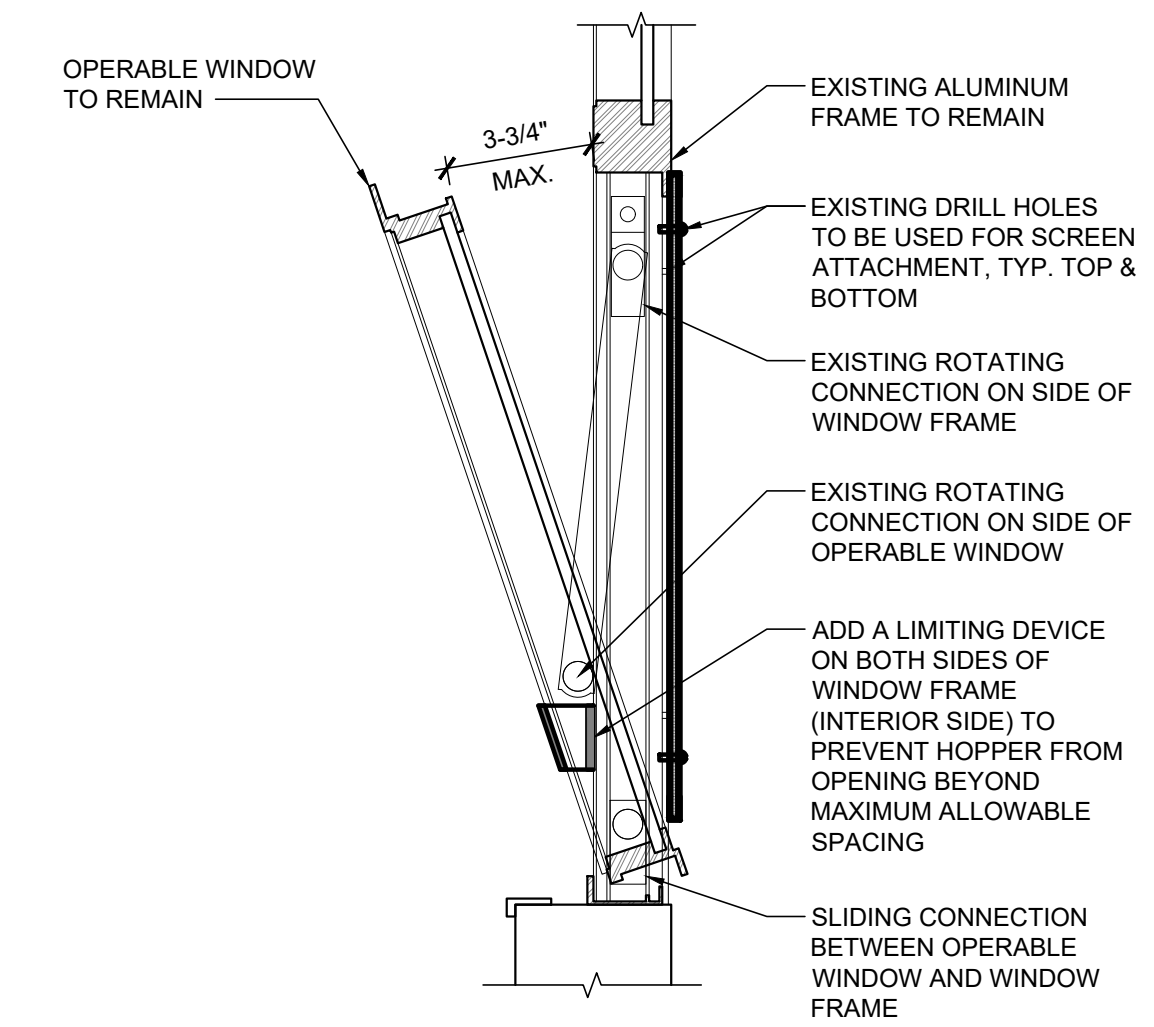


NOTE: EXISTING METAL FRAMED WINDOWS TO REMAIN. ONLY MINOR REPAIR TO BE DONE - INCLUDING REPAIR MISSING PUTTY OR CAULK, REPLACE BROKEN GLASS PANE WITH SIMILAR LOOKING GLASS. GLAZING MUST HAVE 72% OR GREATER VISIBLE LIGHT TRANSMITTANCE AND 11% OR LESS REFLECTIVITY. A SAMPLE OF THE PROPOSED GLASS PANE MUST BE PROVIDED FOR APPROVAL BEFORE REPLACEMENT.

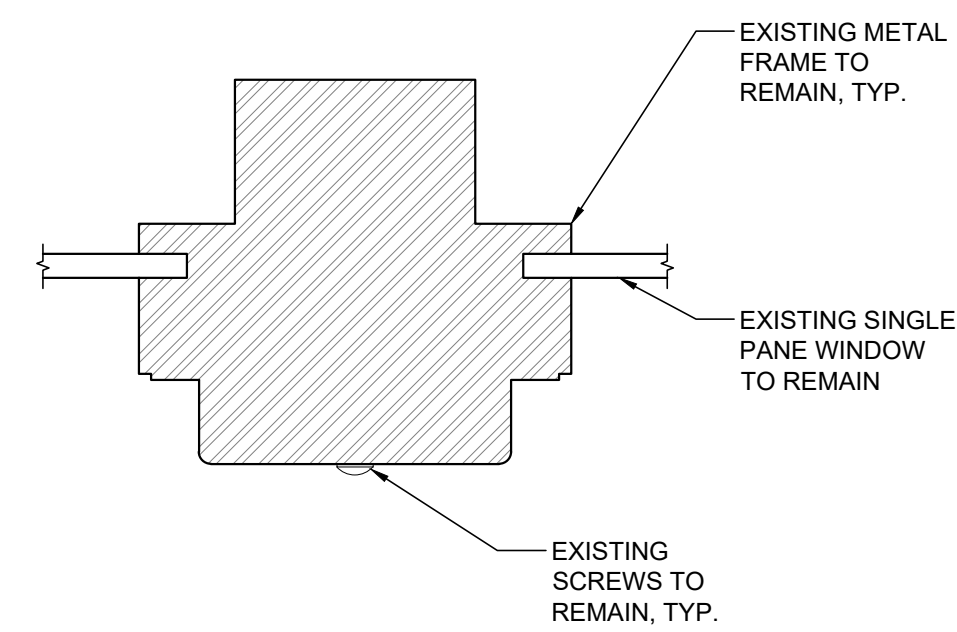
1 TYPICAL METAL WINDOW - INTERIOR VIEW
SCALE: 3/4" = 1'-0"



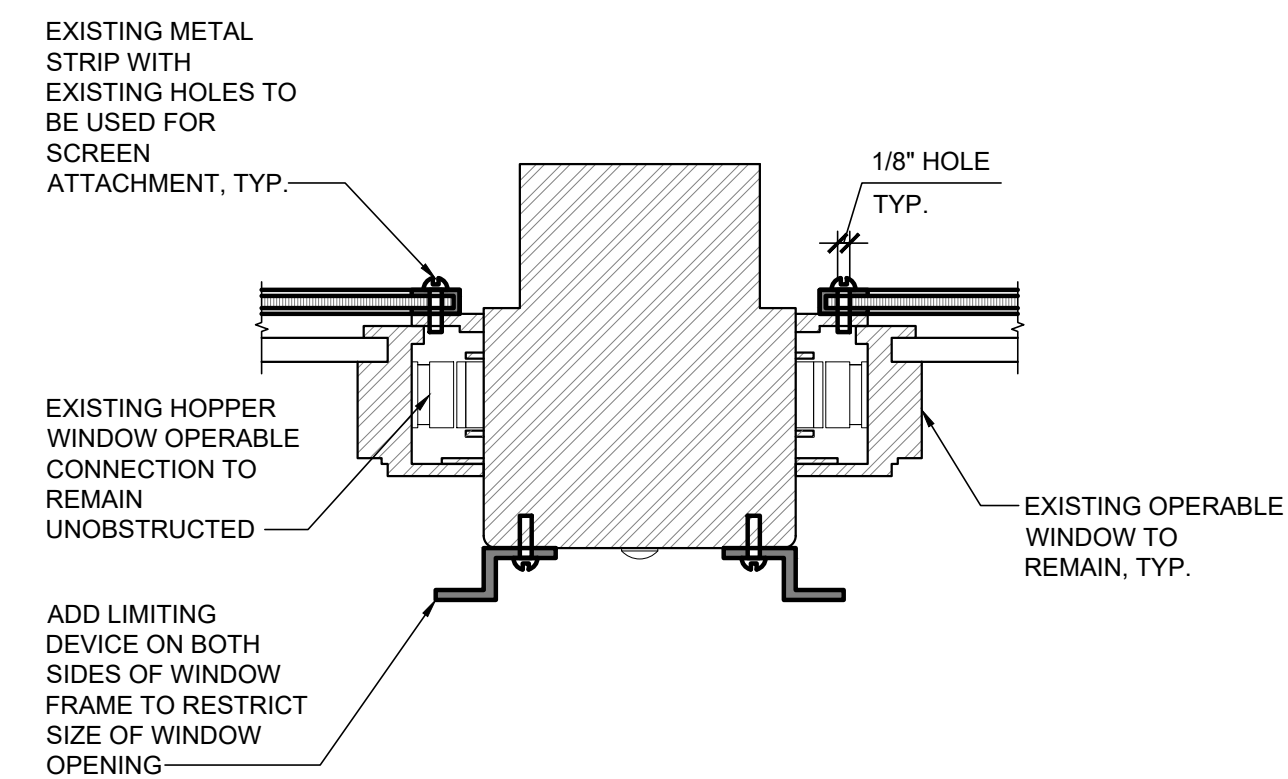
2 WINDOW FRAME DETAIL (WITHOUT HOPPER)
SCALE: 3" = 1'-0"



3 OPERABLE WINDOW DETAIL
SCALE: 3" = 1'-0"



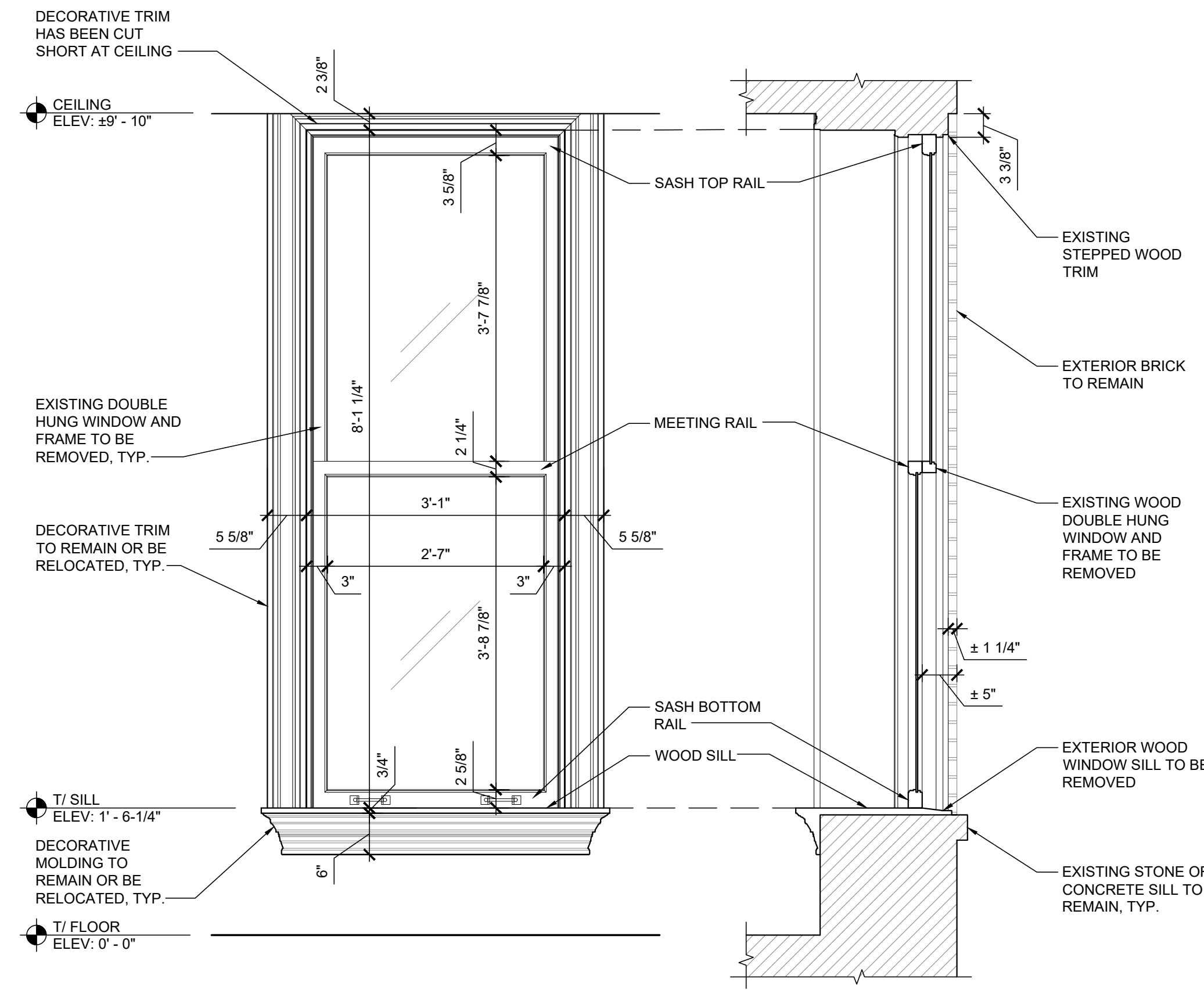
4 METAL FRAME AT FIXED WINDOW
SCALE: 6" = 1'-0"



5 METAL FRAME AT OPERABLE WINDOW
SCALE: 6" = 1'-0"

ISSUE

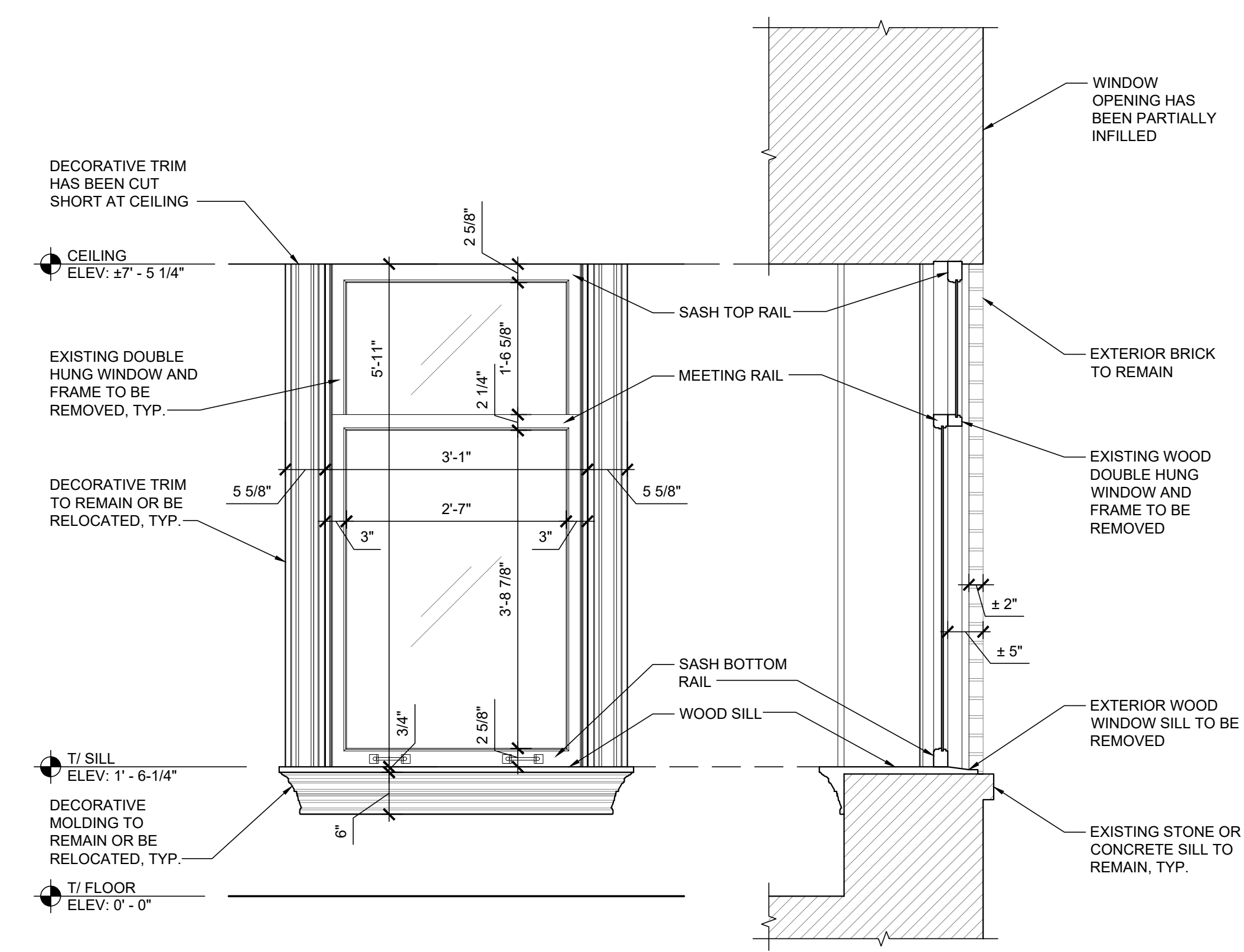
FOR	DATE
REVIEW	3/23/2020
REVIEW	4/6/2020
REVIEW	4/29/2020
PART 2	5/8/2020



EXISTING CONDITION #1 - WINDOWS 4, 5, 6, 7, 8

NOTE: EXISTING WINDOWS SHOW SIGNS OF SIGNIFICANT DETERIORATION ON EXTERIOR OF BUILDING. PIECES OF WOOD HAVE SPALLED OFF ON EXTERIOR. WINDOW MECHANISMS HAVE BEEN PARTIALLY REMOVED. WINDOWS DO NOT OPEN DUE TO MANY LAYERS OF PAINT. INTERIOR TRIM IS ALSO COVERED IN MANY LAYERS OF PAINT AND HAS BEEN CUT SHORT AT SUSPENDED TILE CEILING. SEE WINDOW LOCATION ON SHEET A5.2.

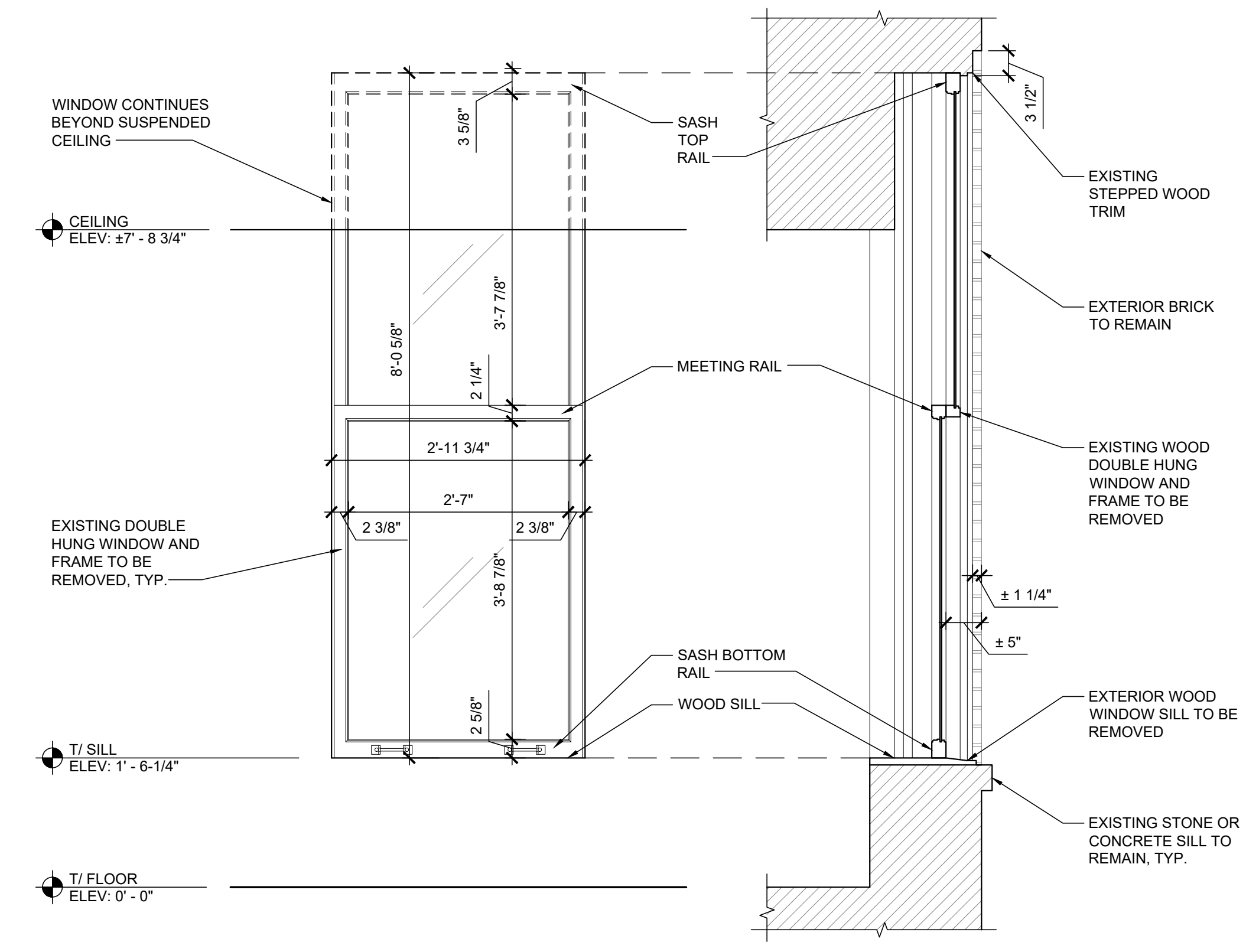
1 EXISTING WOOD WINDOW - CONDITION #1
SCALE: 3/4" = 1'-0"



EXISTING CONDITION #2 - WINDOW #9

NOTE: WINDOW IS NOT ORIGINAL TO THE BUILDING - IT IS A SHORTER WINDOW DUE TO A VENT IN THE SAME OPENING. EXISTING WINDOW SHOWS SIGNS OF SIGNIFICANT DETERIORATION ON EXTERIOR OF BUILDING. WINDOW MECHANISMS HAVE BEEN REMOVED. WINDOWS DO NOT OPEN DUE TO MANY LAYERS OF PAINT. INTERIOR TRIM IS ALSO COVERED IN MANY LAYERS OF PAINT AND HAS BEEN CUT SHORT AT SUSPENDED TILE CEILING. SEE WINDOW LOCATION ON SHEET A5.2.

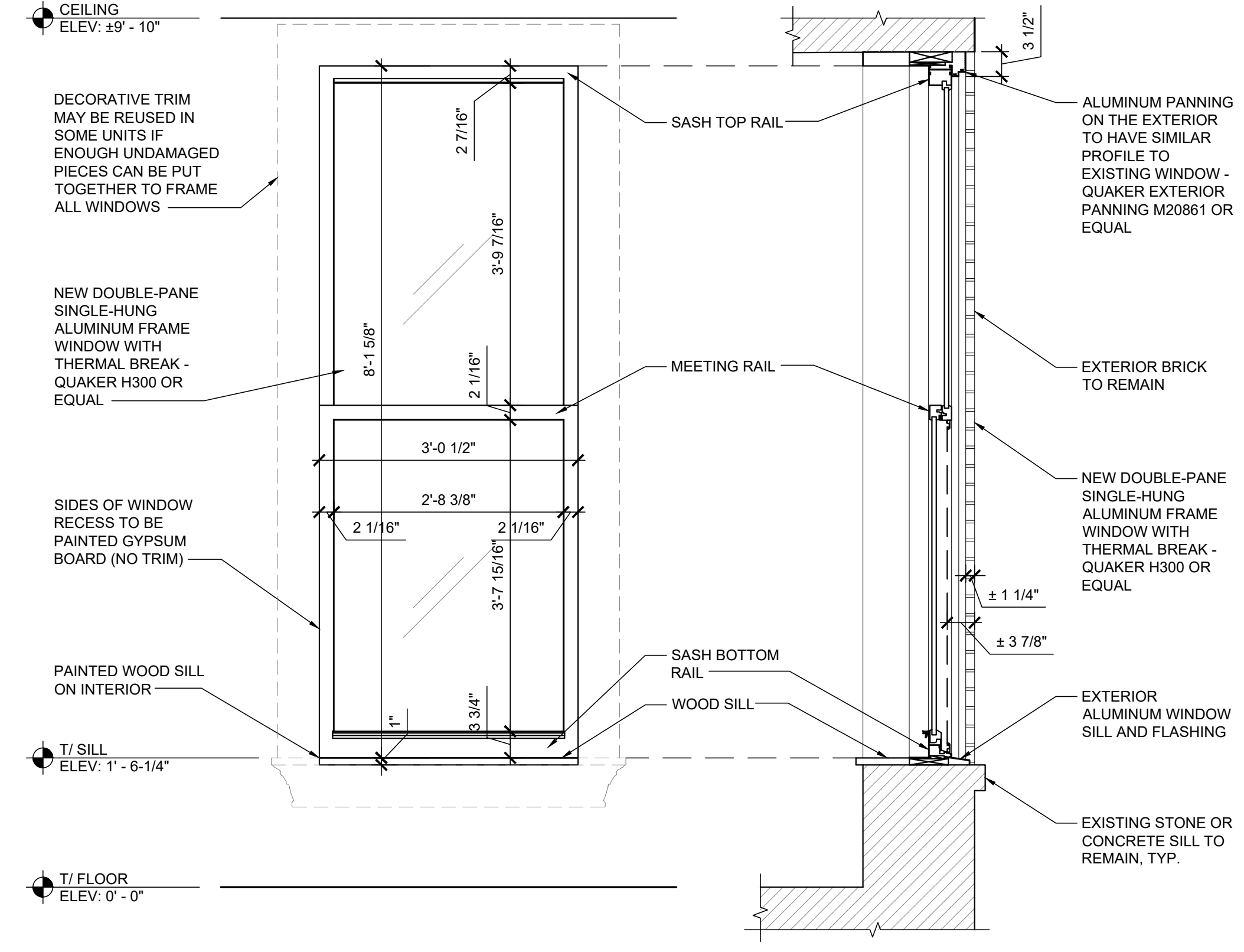
2 EXISTING WOOD WINDOW - CONDITION #2
SCALE: 3/4" = 1'-0"



EXISTING CONDITION #3 - WINDOWS 1, 2, 3

NOTE: EXISTING WINDOWS SHOW SIGNS OF SIGNIFICANT DETERIORATION ON EXTERIOR OF BUILDING. PIECES OF WOOD HAVE SPALLED OFF ON EXTERIOR. WINDOW MECHANISMS HAVE BEEN REMOVED. WINDOWS DO NOT OPEN DUE TO MANY LAYERS OF PAINT. THERE IS NO INTERIOR TRIM. SEE LOCATION ON SHEET A5.2.

3 EXISTING WOOD WINDOW - CONDITION #3
SCALE: 3/4" = 1'-0"



PROPOSED WINDOW - AT EXISTING WINDOWS AND INFILL LOCATIONS

NOTE: DIMENSIONS ARE APPROXIMATE. THEY WILL FLUCTUATE SLIGHTLY WITH WINDOW PRODUCT AND NECESSARY BLOCKING. EXISTING TRIM MAY BE SALVAGED IF IN GOOD CONDITION. GLAZING MUST HAVE 72% OR GREATER VISIBLE LIGHT TRANSMITTANCE AND 11% OR LESS REFLECTIVITY.

4 PROPOSED WINDOW REPLACEMENT
SCALE: 3/4" = 1'-0"

40 DuPage Elgin Commerce Building
REDEVELOPMENT PLAN

Thank you for your time and
consideration of making
'The Courtyard at 40' a reality

'The Courtyard at 40'